

CONSTRUCTION NOTES

- 1.10 6" CONCRETE CURB
- 1.20 20'H LED AREA LIGHT WITH PHOTO-CELL AND TIME CLOCK SWITCHING PER "CALGREEN" AND TITLE 24 REQUIREMENTS. HOOD AND ARRANGE SO AS NOT TO CAUSE A NUISANCE TO ADJACENT STREET TRAFFIC OR TO LIVING ENVIRONMENT. THE AMOUNT OF LIGHT THAT SHALL BE PROVIDED USHALL BE PER THE PUBLIC WORKS STANDARDS AND CALGREEN
- 1.30 LANDSCAPING WITH AUTOMATIC IRRIGATION
- 1.40 6" CONCRETE DRIVE SLAB WITH #3 BARS @ 18" O.C. OR AS SPECIFIED IN SOILS REPORT IF AVAILABLE.
- 1.50 6" OVER 4" A.B. ASPHALT PAVING OR AS SPECIFIED IN SOILS REPORT IF AVAILABLE.
- 1.60 ACCESSIBLE ROUTE (MIN. 48" WIDE, RUN SLOPE: 5% MAX., X-SLOPE: 2% MAX.)
- 1.70 ACCESSIBLE PARKING SPACE WITH ALL RELATED SIGNAGE (SLOPE NOT TO EXCEED 2% E.W.) - REFER TO SHEET ADA-4
- 1.75 BICYCLE PARKING (MIN. 2) PER CAL GREEN CODE
- 1.80 9'X18' STANDARD PARKING SPACES
- 1.90 ACCESSIBLE TRUNCATED DOME (SEE DETAIL ON SHEET ADA-5)
- 1.91 CONCRETE SIDEWALK (MIN. 48" WIDE WITH 2% CROSS SLOPE WHERE ACCESSIBLE PATH OF TRAVEL OCCURS)
- 1.92 ACCESSIBLE RAMP (SLOPE 8.33% MAX.)
- 2.10 TRASH ENCLOSURE
- 2.15 CONCRETE MASONRY RETAINING WALL
- 2.20 6" CONCRETE FILLED STEEL GUARD POSTS
- 2.35 ELECTRIC CHARGING STATION (SEE DETAIL 10/C5.2 FOR ACCESSIBILITY)
- 2.37 PROPANE TANK ON CONCRETE PAD
- 2.40 (2) 25,000 GALL. UNDER GROUND STORAGE TANKS UNDER REINFORCED CONCRETE SLAB
- 2.41 TANK VENT RISERS CARBON CANISTER
- 2.50 CONCRETE ISLAND W/ (1) MULTI PRODUCT DISPENSER (6" MIN. & 8" MAX. HEIGHT)
- 2.70 FUELING CANOPY
- 2.71 FUELING CANOPY COLUMNS

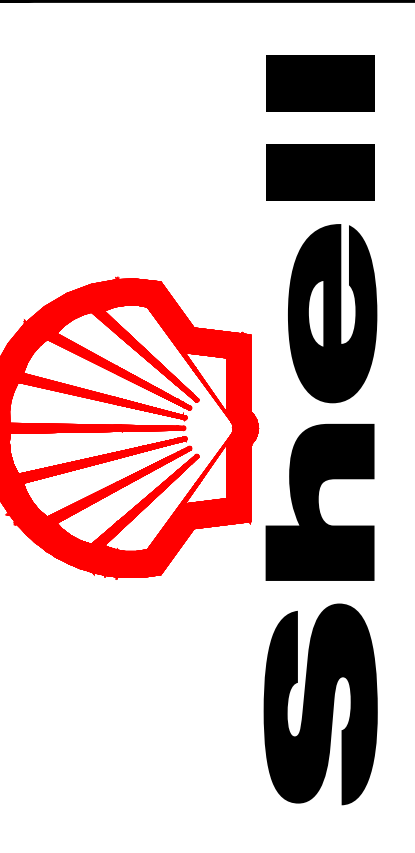
SITE DATA INFORMATION

DEVELOPER'S INFORMATION:		ACCESSOR'S:	
COMICO OIL 4520 E Thousand Oaks Blvd. #200 Westlake Village, Ca 91362		PARCEL NUMBER 137-190-035 137-190-036	
CONTACT: JUN KIM		ZONING: CR - COMMERCIAL	
	SQ. FT.	ACRE	RATIO
TOTAL LOT AREA	84,251.0	2.0	-
C-STORE AREA			
OCCUPANCY: M	3,700.0	-	4.1%
CONSTRUCTION: V-B			
CANOPY AREA			
OCCUPANCY: M	9,516.0	-	11.0%
CONSTRUCTION: II-B			
CAR WASH AREA			
OCCUPANCY: B	1,570.0	-	1.8%
CONSTRUCTION: II-B			
RETAIL: 1/250			
TYPE	SIZE	REQUIRED	PROVIDED
ACCESSIBLE	17'X18'	1	2
REGULAR	9'X18'	19	39
TOTAL:		20	41

REVISIONS

NO.	DATE	DESCRIPTION

CJC Design, Inc.
Design Planning Permitting
22465 La Palma Avenue, Suite 202, Yorba Linda, CA 92887
Tel: (714) 920-6643
www.cjcdp.com



PROJECT: 90 EAST HIGHWAY 246 BUELLTON, CA. 93427

SITE PLAN

DATE ISSUED: 07/02/2024

SCALE: 1"=20'-0"

DRAWN BY: C. ROSCIGNO **CHECKED BY:** F. COHEN

PROJECT NUMBER: 24030

STORE NUMBER: Shell

SHEET: C.11

A.L.T.A. / N.S.P.S LAND TITLE SURVEY

CHICAGO TITLE COMPANY

ORDER NO.: 0004232-994-X59
DATED: SEPTEMBER 21, 2015

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF BUELLTON, IN THE COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL ONE:

THAT PORTION OF RANCHO SAN CARLOS DE JONATA, IN THE COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF RECORDED IN BOOK 5, PAGE 51 OF MAPS AND SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE CENTERLINE OF THE COUNTY ROAD FROM LOMPOC TO SOLVANG THAT IS SOUTH 64° 55' 20" EAST 640.07 FEET FROM THE INTERSECTION OF SAID LINE WITH THE EAST LINE OF TRACT 8 AS SHOWN ON SAID MAP; THENCE SOUTH 25° 04' 40" WEST 190.00 FEET; THENCE NORTH 64° 55' 20" WEST 125.00 FEET; THENCE NORTH 25° 04' 40" EAST 190.00 FEET TO THE CENTERLINE OF THE COUNTY ROAD FROM LOMPOC TO SOLVANG; THENCE ALONG SAID LINE SOUTH 64° 55' 20" EAST 125.00 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN THE LINES OF THE LAND DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED NOVEMBER 2, 1962 AS INSTRUMENT NO. 46548 IN BOOK 1960, PAGE 1131 OF OFFICIAL RECORDS, DESCRIBED AS FOLLOWS:

THAT PART OF THE PORTION OF THE RANCHO SAN CARLOS DE JONATA AS DESCRIBED IN THE DEED RECORDED NOVEMBER 13, 1961, IN BOOK 1884, PAGE 386 OF OFFICIAL RECORDS, RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT DISTANT SOUTH 63° 21' 36" EAST 453.04 FEET FROM THE INTERSECTION OF THE EAST LINE OF TRACT 8 OF SAID RANCHO AS DELINEATED ON THE MAP RECORDED IN BOOK 5 OF MAPS AND SURVEYS, PAGE 51, RECORDS OF SAID COUNTY, WITH THE CENTERLINE OF THE COUNTY ROAD FROM LOMPOC TO SOLVANG AS SAID ROAD IS DESCRIBED IN SAID DEED; THENCE

- (1) SOUTH 26° 38' 24" WEST 40.00 FEET; THENCE
- (2) SOUTH 63° 21' 36" EAST 122.51 FEET; THENCE
- (3) SOUTH 60° 29' 50" EAST TO AN INTERSECTION WITH THE SOUTHEASTERLY LINE OF SAID PARCEL OF LAND; THENCE
- (4) ALONG LAST SAID SOUTHEASTERLY LINE NORTH 26° 38' 24" EAST TO THE NORTHEASTERLY CORNER OF SAID PARCEL OF LAND; THENCE
- (5) ALONG THE NORTHEASTERLY LINE OF SAID PARCEL NORTH 63° 21' 36" WEST TO THE POINT OF BEGINNING.

BEARINGS AND DISTANCES USED HEREIN ARE BASED ON THE CALIFORNIA COORDINATE SYSTEM, ZONE5; MULTIPLY DISTANCES BY 1.0000917 TO OBTAIN GROUND LEVEL DISTANCES."

EXCEPTING THEREFROM ALL RIGHT, TITLE AND INTEREST IN AND TO ANY OIL, GAS, AND OTHER MINERALS (INCLUDING, WITHOUT LIMITATION, HELIUM, LIGNITE, SULPHUR, PHOSPHATE AND OTHER SOLID, LIQUID AND GASEOUS SUBSTANCES), REGARDLESS OF THE NATURE THEREOF AND WHETHER SIMILAR OR DISSIMILAR BUT ONLY TO THE EXTENT ANY OF THE FOREGOING IS IN ITS NATURAL STATE AND NATURAL LOCATION AND NOT SUBJECT TO THE DOMINION AND CONTROL OF ANY PERSON, AND UPON THIRTY (30) DAYS PRIOR WRITTEN NOTICE TO THE GRANTEE, THE RIGHT TO EXPLORE FOR, DEVELOP AND PRODUCE SAME, AS WELL AS THE RIGHT TO LEASE SUCH PORTION OF THE PROPERTY HEREBY RESERVED FOR SUCH PURPOSES, AND ALL MINERAL AND ROYALTY RIGHTS WHATSOEVER IN, ON, UNDER AND PERTAINING TO THE PROPERTY; BUT THE GRANTEE, ITS SUCCESSORS AND ASSIGNS, SHALL HAVE NO RIGHT TO USE, OR RIGHT OF INGRESS TO OR EGRESS FROM ANY PART OF THE SURFACE OF THE PROPERTY FOR EXPLORATION AND PRODUCING PURPOSES, EXCEPT WITH RESPECT TO (I) CURRENT ACTIVITIES AT AND ANY EXISTING CONTRACTUAL OR LEASEHOLD RIGHTS GRANTED TO THIRD PARTIES AND (II) ANY ADDITIONAL ACTIVITIES WHICH HAVE BEEN CONSENTED TO IN WRITING BY GRANTEE, WHOSE CONSENT SHALL NOT BE UNREASONABLY WITHHELD, EXCEPT AS SET FORTH IN THE PRECEDING SENTENCE, ANY OIL AND GAS DRILLING OPERATIONS, SHALL BE CONDUCTED BY MEANS OF WELLS, THE SURFACE LOCATIONS OF WHICH ARE ON OTHER LANDS AND WHICH MAY BE DRILLED INTO AND BOTTOMED IN OR UNDER THE PROPERTY. GRANTEE SHALL EXERCISE ITS RIGHTS UNDER THE FOREGOING MINERAL, OIL AND GAS RESERVATION SO AS NOT TO DISTURB ANY IMPROVEMENTS, INSTALLATIONS, PETROLEUM OR OTHER PRODUCTS CONTAINED IN SUCH IMPROVEMENTS OR INSTALLATIONS OR SURFACE ACTIVITIES ON THE PROPERTY. THE GRANTEE IS TO RECEIVE AND RETAIN ALL BONUSES, RENTALS AND ROYALTIES PAYABLE UNDER ANY SUCH MINERAL, OIL AND GAS LEASE OR LEASES, AS RESERVED BY SHELL OIL COMPANY, A DELAWARE CORPORATION, IN DEED RECORDED JULY 9, 1998 AS INSTRUMENT NO. 98-051510, OF OFFICIAL RECORDS.

PARCEL TWO:

AN EASEMENT FOR INGRESS AND EGRESS OVER A STRIP OF LAND 25.00 FEET IN WIDTH LYING WESTERLY OF AND ADJACENT TO THE NORTHWESTERLY LINE OF PARCEL ONE HEREIN ABOVE DESCRIBED.

PARCEL THREE:

THE WESTERLY 100 FEET OF THAT PORTION OF THE EMILY BUELL RANCH, IN THE RANCHO SAN CARLOS DE JONATA, IN THE COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EAST LINE OF TRACT 8 OF THE RANCHO SAN CARLOS DE JONATA, AS SHOWN ON THE MAP THEREOF, RECORDED IN BOOK 5, PAGE 51 OF MAPS AND SURVEYS, RECORDS OF SAID COUNTY, WITH THE CENTERLINE OF THE COUNTY ROAD FROM LOMPOC TO SOLVANG; THENCE SOUTH 64° 55' 20" EAST, ALONG THE CENTERLINE OF SAID ROAD, 640.07 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 25° 04' 40" WEST, 205 FEET; THENCE SOUTH 64° 55' 20" EAST, 200 FEET; THENCE NORTH 25° 04' 40" EAST, 205 FEET TO THE CENTERLINE OF SAID COUNTY ROAD; THENCE NORTH 64° 55' 20" WEST, ALONG THE CENTERLINE, 200 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA, BY DEED RECORDED FEBRUARY 6, 1964 AS INSTRUMENT NO. 5585, IN BOOK 2034, PAGE 776 OF OFFICIAL RECORDS.

EXCEPTING THEREFROM ALL RIGHT, TITLE AND INTEREST IN AND TO ANY OIL, GAS, AND OTHER MINERALS (INCLUDING, WITHOUT LIMITATION, HELIUM, LIGNITE, SULPHUR, PHOSPHATE AND OTHER SOLID, LIQUID AND GASEOUS SUBSTANCES), REGARDLESS OF THE NATURE THEREOF AND WHETHER SIMILAR OR DISSIMILAR BUT ONLY TO THE EXTENT ANY OF THE FOREGOING IS IN ITS NATURAL STATE AND NATURAL LOCATION AND NOT SUBJECT TO THE DOMINION AND CONTROL OF ANY PERSON, AND UPON THIRTY (30) DAYS PRIOR WRITTEN NOTICE TO THE GRANTEE, THE RIGHT TO EXPLORE FOR, DEVELOP AND PRODUCE SAME, AS WELL AS THE RIGHT TO LEASE SUCH PORTION OF THE PROPERTY HEREBY RESERVED FOR SUCH PURPOSES, AND ALL MINERAL AND ROYALTY RIGHTS WHATSOEVER IN, ON, UNDER AND PERTAINING TO THE PROPERTY; BUT THE GRANTEE, ITS SUCCESSORS AND ASSIGNS, SHALL HAVE NO RIGHT TO USE, OR RIGHT OF INGRESS TO OR EGRESS FROM ANY PART OF THE SURFACE OF THE PROPERTY FOR EXPLORATION AND PRODUCING PURPOSES, EXCEPT WITH RESPECT TO (I) CURRENT ACTIVITIES AT AND ANY EXISTING CONTRACTUAL OR LEASEHOLD RIGHTS GRANTED TO THIRD PARTIES AND (II) ANY ADDITIONAL ACTIVITIES WHICH HAVE BEEN CONSENTED TO IN WRITING BY GRANTEE, WHOSE CONSENT SHALL NOT BE UNREASONABLY WITHHELD, EXCEPT AS SET FORTH IN THE PRECEDING SENTENCE, ANY OIL AND GAS DRILLING OPERATIONS, SHALL BE CONDUCTED BY MEANS OF WELLS, THE SURFACE LOCATIONS OF WHICH ARE ON OTHER LANDS AND WHICH MAY BE DRILLED INTO AND BOTTOMED IN OR UNDER THE PROPERTY. GRANTEE SHALL EXERCISE ITS RIGHTS UNDER THE FOREGOING MINERAL, OIL AND GAS RESERVATION SO AS NOT TO DISTURB ANY IMPROVEMENTS, INSTALLATIONS, PETROLEUM OR OTHER PRODUCTS CONTAINED IN SUCH IMPROVEMENTS OR INSTALLATIONS OR SURFACE ACTIVITIES ON THE PROPERTY. THE GRANTEE IS TO RECEIVE AND RETAIN ALL BONUSES, RENTALS AND ROYALTIES PAYABLE UNDER ANY SUCH MINERAL, OIL AND GAS LEASE OR LEASES, AS RESERVED BY SHELL OIL COMPANY, A DELAWARE CORPORATION, IN DEED RECORDED NOVEMBER 14, 2008 AS INSTRUMENT NO. 08-64361, OF OFFICIAL RECORDS.

ASSESSOR'S PARCEL NUMBER: 137-190-035 & 137-190-036

AREA: 31,700.09 S.F. (0.728 ACRES)

EXCEPTION ITEMS:

- 3 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: BUELLTON COMMUNITY SERVICE DISTRICT
PURPOSE: SEWER
RECORDING DATE: JANUARY 3, 1961
RECORDING NO: 64 IN BOOK 1812 PAGE 354, OF OFFICIAL RECORDS
AFFECTS: THE SOUTHWESTERLY 10 FEET OF PARCEL THREE.

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

SAID EASEMENT WAS QUITCLAIMED TO THE CITY OF BUELLTON, BY DEED RECORDED OCTOBER 26, 1995 AS INSTRUMENT NO. 95-60048, OF OFFICIAL RECORDS. (PLOTTED)

- 4 A WAIVER OF ANY CLAIMS FOR DAMAGES BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF A CONTIGUOUS FREEWAY, HIGHWAY, ROADWAY OR TRANSIT FACILITY AS CONTAINED IN THE DOCUMENT RECORDED NOVEMBER 2, 1962AS INSTRUMENT NO. 46548 IN BOOK 1960 PAGE 1131, OF OFFICIAL RECORDS. (PLOTTED)

- 5 A WAIVER OF ANY CLAIMS FOR DAMAGES BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF A CONTIGUOUS FREEWAY, HIGHWAY, ROADWAY OR TRANSIT FACILITY AS CONTAINED IN THE DOCUMENT RECORDED FEBRUARY 6, 1964 AS INSTRUMENT NO. 5585 IN BOOK 2034 PAGE 776, OF OFFICIAL RECORDS. (PLOTTED)

- 6 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT:

IN FAVOR OF: CITY OF BUELLTON, A MUNICIPAL CORPORATION
PURPOSE: PUBLIC ROAD AND UTILITY
RECORDING DATE: MAY 1, 1996
RECORDING NO: 98-27501, OF OFFICIAL RECORDS
AFFECTS: PORTIONS OF THE LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE-MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND.

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS (PLOTTED)

- 9 MATTERS CONTAINED IN THAT CERTAIN DOCUMENT

ENTITLED: ACCESS AGREEMENT GRANTING RIGHT OF ENTRY
RECORDING DATE: DECEMBER 15, 2008
RECORDING NO: 2008-0068995, OF OFFICIAL RECORDS

REFERENCE IS HEREBY MADE TO SAID DOCUMENT FOR FULL PARTICULARS. (UN-LOCATABLE)

FIDELITY NATIONAL TITLE COMPANY

TITLE NO.: FSBA-4201230504-SA
DATED: APRIL 18, 2024

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF BUELLTON, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE RANCHO SAN CARLOS DE JONATA, CITY OF BUELLTON, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, AND DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE EAST LINE OF TRACT 8 OF THE RANCHO SAN CARLOS DE JONATA, AS SHOWN ON THE MAP THEREOF RECORDED IN BOOK 5 OF MAPS AND SURVEYS, PAGE 51, RECORDS OF SAID COUNTY, WITH THE CENTER LINE OF THE COUNTY ROAD FROM LOMPOC TO SOLVANG;

THENCE SOUTH 64° 55' 20" EAST ALONG THE CENTER LINE OF SAID ROAD 446.60 FEET TO THE TRUE POINT OF BEGINNING;

THENCE SOUTH 25° 4' 40" WEST 356.10 FEET TO THE NORTHEASTERLY LINE OF TRACT 7 OF THE RANCHO SAN CARLOS DE JONATA, AS SHOWN ON THE MAP HEREIN BEFORE DESCRIBED;

THENCE SOUTH 28° 55' 30" EAST ALONG THE NORTHEASTERLY LINE OF TRACT 7, 138.93 FEET;

THENCE SOUTH 33° 50' 30" EAST 87.27 FEET TO THE SOUTHERLY CORNER OF THE PROPERTY DESCRIBED IN THE DEED FROM HANS C. ANDERSEN AND KATRINE ANDERSEN TO L. R. THOMSEN,

RECORDED IN BOOK 188 OF OFFICIAL RECORDS, PAGE 597, RECORDS OF SANTA BARBARA COUNTY, CALIFORNIA;

THENCE NORTH 25° 4' 40" EAST 482.95 FEET TO THE CENTER LINE OF SAID ROAD;

THENCE NORTH 64° 55' 20" WEST 193.47 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPTING THEREFROM THOSE PORTIONS INCLUDED WITHIN THE LINES OF THE TRACT OF LAND CONVEYED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED ON NOVEMBER 2, 1962 IN BOOK 1960, PAGE 1131 OF OFFICIAL RECORDS, OF SANTA BARBARA COUNTY, CALIFORNIA. ALSO EXCEPTING THEREFROM THOSE PORTIONS INCLUDED WITHIN THE LINES OF THE TRACT OF LAND CONVEYED IN THE DEED TO SHELL OIL COMPANY, A DELAWARE CORPORATION, RECORDED ON MAY 1, 1963 IN BOOK 1889, PAGE 1216 OF OFFICIAL RECORDS OF SANTA BARBARA COUNTY, CALIFORNIA.

ASSESSOR'S PARCEL NUMBER: 137-190-017

AREA: 52,551.33 S.F. (1.206 ACRES)

EXCEPTION ITEMS:

- 4 WAIVER OF ANY CLAIMS FOR DAMAGES TO SAID LAND BY REASON OF THE LOCATION, CONSTRUCTION, LANDSCAPING OR MAINTENANCE OF THE STREET OR HIGHWAY ADJOINING SAID LAND, AS CONTAINED IN THE DEED TO

COUNTY/CITY/STATE: STATE OF CALIFORNIA
RECORDING DATE: NOVEMBER 2, 1962
RECORDING NO.: 46548, BOOK 1960, PAGE 1131, OF OFFICIAL RECORDS (PLOTTED)

- 50 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: SHELL OIL COMPANY
PURPOSE: INGRESS AND EGRESS
RECORDING DATE: MAY 1, 1963
RECORDING NO.: 18844, BOOK 1989, PAGE 1216, OF OFFICIAL RECORDS
AFFECTS: A 25 FOOT STRIP OVER A PORTION OF SAID LAND (PLOTTED)

- 60 AN AGREEMENT, AFFECTING THE PREMISES HEREIN STATED, FOR THE PURPOSES STATED HEREIN, UPON THE TERMS, COVENANTS AND CONDITIONS REFERRED TO THEREIN, BETWEEN THE PARTIES NAMED HEREIN.

FOR: EASEMENT AGREEMENT
FIRST PARTY: ANTHONY GUNTERMAN ET AL
SECOND PARTY: SHELL OIL COMPANY
RECORDING DATE: DECEMBER 1, 1964
RECORDING NO.: 50766 IN BOOK 2081, PAGE 603, OF OFFICIAL RECORDS
AFFECTS: SAID LAND

AMONG OTHER THINGS, SAID DOCUMENT PROVIDES:

A 10 FOOT EASEMENT FOR PIPELINE PURPOSES OVER A PORTION OF THE HEREIN DESCRIBED LAND (PLOTTED-APPROXIMATE LOCATION DUE TO ILLEGIBLE DOCUMENT)

- 7 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS CONDEMNED BY FINAL DECREE OF CONDEMNATION,

SUPERIOR COURT OF: SANTA BARBARA
CASE NO.: 60464
IN FAVOR OF: BUELLTON COMMUNITY SERVICES DISTRICT
PURPOSE: SEWER LINES
RECORDING DATE: APRIL 25, 1968
RECORDING NO.: 13413, BOOK 2229, PAGE 1201, OF OFFICIAL RECORDS
AFFECTS: A 10 FOOT STRIP OVER A CENTRAL AND EASTERLY PORTION OF SAID LAND (NOT PLOTTED-MISSING DOCUMENTS)

- 8 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT:

GRANTED TO: MARK MANDALA ET UX
PURPOSE: INGRESS AND EGRESS
RECORDING DATE: AUGUST 9, 1979
RECORDING NO.: 79-37002, OF OFFICIAL RECORDS
AFFECTS: A 30 FOOT STRIP OVER A PORTION OF SAID LAND (PLOTTED)

SITE INFORMATION:

PROPERTY ADDRESS: 90 & 100 E. HIGHWAY 246, BUELLTON, CA 93427
GROSS AREA: 84,251.42 S.F. (1.934 ACRES)

SITE NOTES:

- THE FOLLOWING SUBSTANTIAL FEATURES WERE OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK: BUILDINGS, WALK WAYS, CHAIN LINKED FENCE, ASPHALT PAVEMENT, WALLS AND LANDSCAPE AREAS.
- NO EVIDENCE WAS FOUND OF ANY EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITION.

PARKING: 9 REGULAR PARKING SPACES
1 ADA PARKING SPACE

FLOOD NOTE: By graphic plotting only, this property is in Zone "AE" of the Flood Insurance Rate Map Number 06083-1052C, Community Panel No. 060757 Dated December 12, 2012. This property is located in special flood hazard areas.

ZONING:

THE PROPERTY IS LOCATED IN THE "GENERAL COMMERCIAL" ZONE. (CR)

SETBACK REQUIREMENTS:

FRONT YARD: NONE REQUIRED

SIDE YARDS: NONE REQUIRED, 3 FT. MINIMUM IF SETBACKS PROPOSED

REAR YARD: 10% OF LOT DEPTH, TO 10 FT. MAXIMUM; 25 FT. MINIMUM ADJACENT TO RESIDENTIAL ZONING; 50 FT. FOR A SHOPPING CENTER ADJACENT TO RESIDENTIAL ZONING

INTERIOR YARD: 5 FT. MINIMUM FOR RESIDENTIAL STRUCTURES, NONE OTHERWISE

BASIS OF BEARINGS:

THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF STATE HIGHWAY 246, BEING N 65° 05' 38" W AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 89, PAGE 39, RECORDS OF SANTA BARBARA COUNTY.

BENCH MARK:

NATIONAL GEODETIC SURVEY BENCHMARK
DESIGNATION = 362.40
PID = 02025.3
ELEVATION = 364.80 FEET (NAVD 88 DATUM)

RECOVERY NOTE BY NATIONAL GEODETIC SURVEY 1977 AT BUELLTON, IN THE NORTHWEST CORNER OF THE JUNCTION OF STATE HIGHWAY 246 AND AVENUE OF FLAGS, 83.5 FT. NORTH OF THE NORTH CURB OF THE HIGHWAY, 8.8 FT. WEST OF WEST CURB OF THE AVENUE, IN THE TOP OF THE SOUTHEAST CORNER OF CONCRETE FOUNDATION OF A PETROLEUM COMPANY STUCCO BUILDING, 2 FT. SOUTHEAST OF SOUTHEAST CORNER OF BUILDING, 1 FT. SOUTH OF SOUTH END OF THE EAST ENTRANCE DOOR.

REFERENCES:

R1 = GRANT DEED DOC. NO. 8888, BOOK 2605, PAGE 668
R2 = GRANT DEED DOC. NO. 46548, BOOK 1960, PAGE 1131
R3 = GRANT DEED DOC. NO. 18844, BOOK 1989, PAGE 1216
R4 = RECORD OF SURVEY BOOK 89, PAGE 39
R5 = RECORD OF SURVEY BOOK 89, PAGE 70
R6 = CORNER RECORD CR 5291
R7 = CORNER RECORD CR 5313
R8 = CORNER RECORD CR 5290
R9 = CORNER RECORD CR 5314
R10 = CORNER RECORD CR 5307

MONUMENT NOTES:

- = INDICATES FOUND MONUMENT AS DESCRIBED HEREON.
- 1 = BRASS CAP STAMPED "CALIF. DEPT. OF TRANSPORTATION RESET 2017" PER R4 AND R6
- 2 = BRASS CAP STAMPED "CALIF. DEPT. OF TRANSPORTATION" PER R4 AND R7
- 3 = 1/2" IRON PIPE WITHOUT TAG, ACCEPTED AS 1/2" IRON PIPE WITH NAIL AND TAG STAMPED "LS 3873" PER R4
- 4 = 1/2" IRON PIPE WITHOUT TAG, ACCEPTED AS 1/2" IRON PIPE WITH NAIL AND TAG STAMPED "LS 3607" PER R5
- 5 = NAIL AND TAG WITH ILLEGIBLE STAMPING IN TOP OF WALL, NO REFERENCE
- 6 = NAIL AND TAG STAMPED "RCE 20920" IN TOP OF WALL, NO REFERENCE, S 41°51'32" W 0.11' FROM ESTABLISHED PROPERTY CORNER
- 7 = BRASS CAP STAMPED "01294 1977" PER R6 AND R7
- 8 = PK/WASHER STAMPED "CALTRANS" PER R6 AND R7
- 9 = PK/WASHER STAMPED "CALTRANS" PER R6 AND R9
- 10 = PK/WASHER STAMPED "PER R10, N24°54'22"E 0.14"
- 11 = PK/WASHER STAMPED "CALTRANS" PER R10
- SN = SEARCHED FOR MONUMENT, NOTHING FOUND

SURVEYOR'S CERTIFICATE:

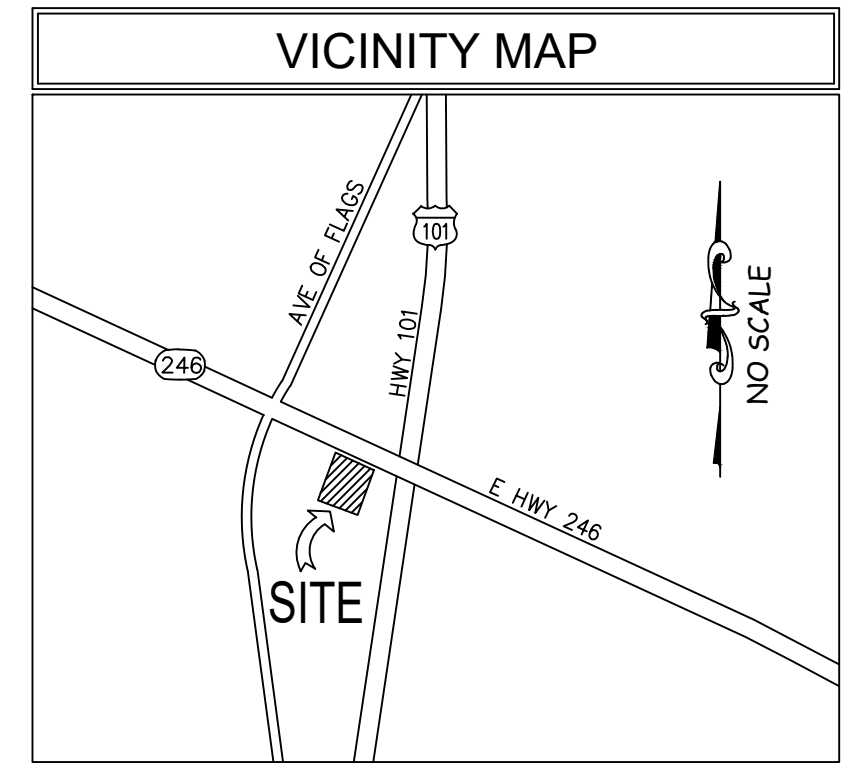
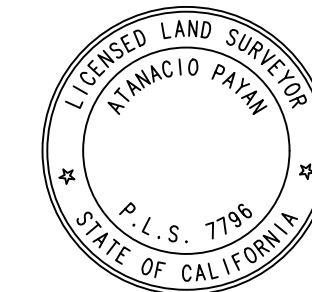
TO: CONICO BUELLTON, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY; THE MAXWELL AND BEVERLY SANDERS FAMILY LIMITED PARTNERSHIP, A CALIFORNIA LIMITED PARTNERSHIP, AS TO AN UNDIVIDED 1/2 INTEREST; MORRIS M. JURKOWITZ, A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY AS TO AN UNDIVIDED 1/2 INTEREST; CHICAGO TITLE COMPANY AND FIDELITY NATIONAL TITLE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 8, 9, 16, AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 21, 2025.

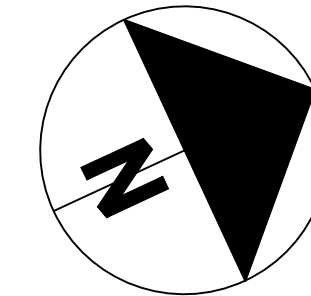
DATE OF PLAT OR MAP: 2-27-2025

Atanacio Payan

ATANACIO PAYAN, PLS 7796



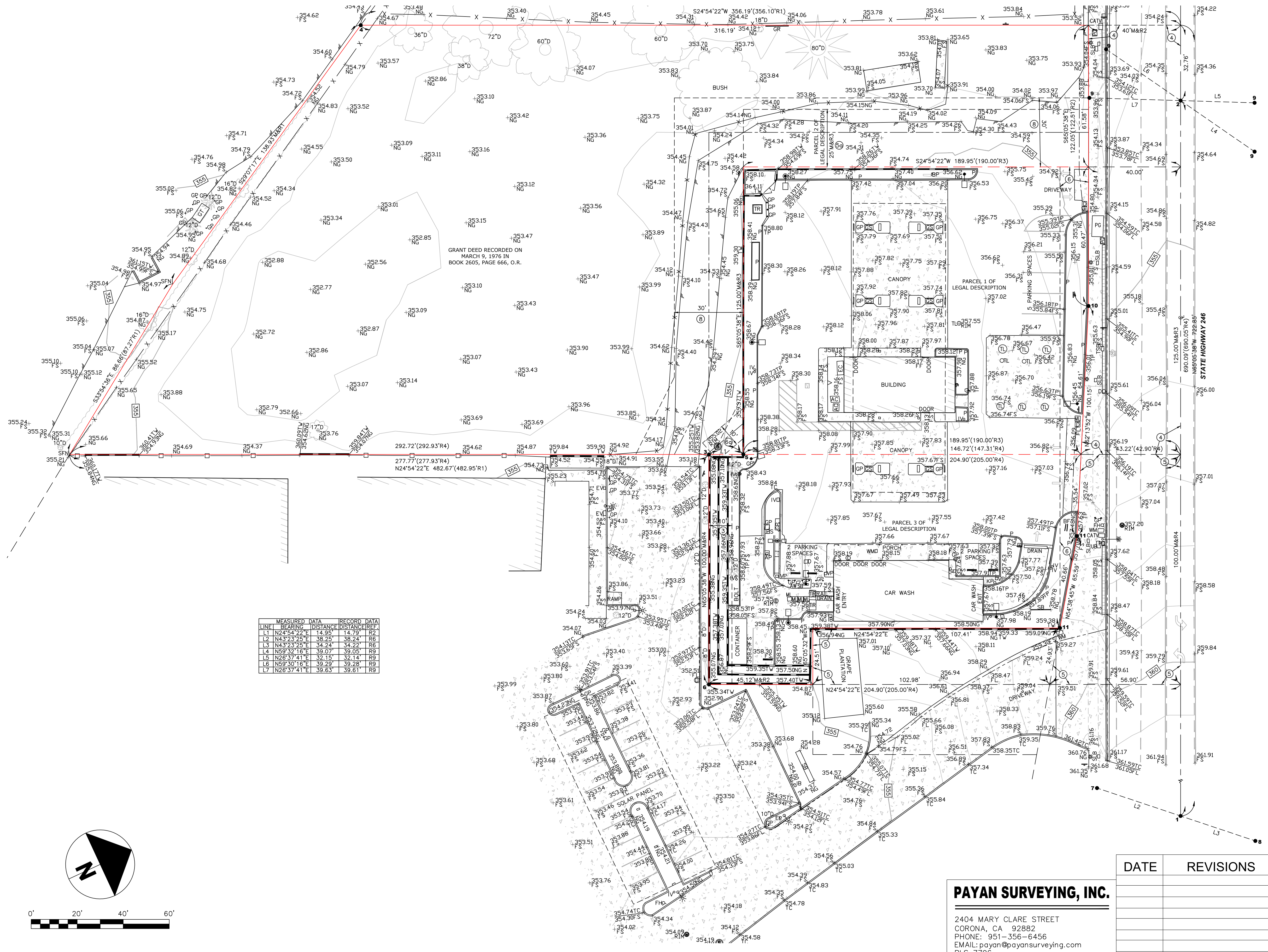
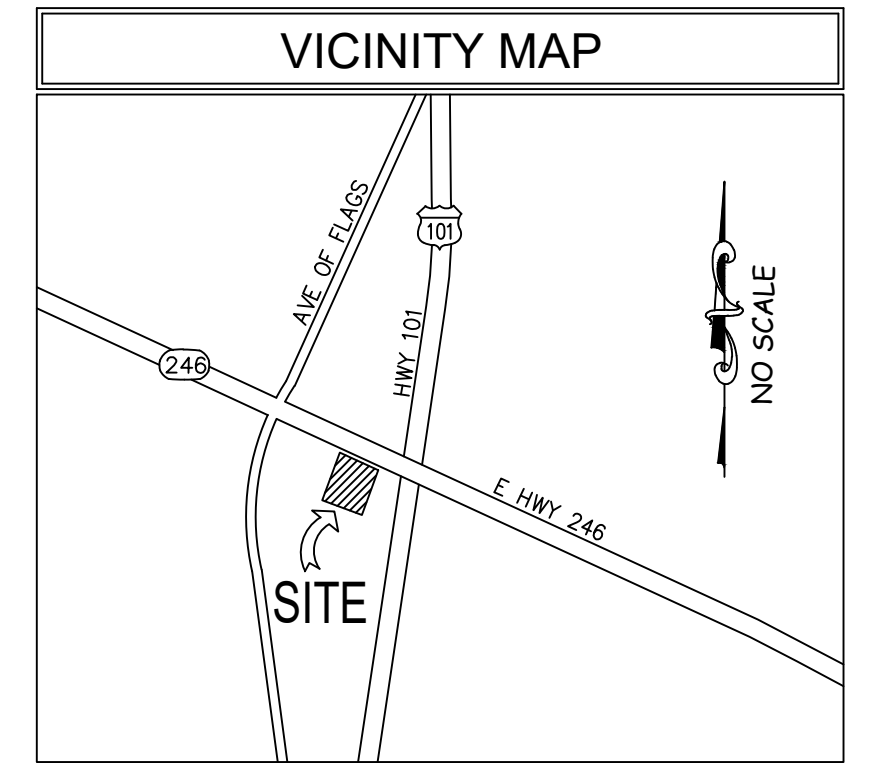
LEGEND	
AC	AC UNIT
AP	ACCESS PEN
AW	AIR & WATER
BF	BACKFLOW
X	BARBED WIRE FENCE
█	BLOCK WALL
BP	BREATHER PIPE
▨	BRICK
■	BUILDING
■	CAR STOP
CATV	CATV LID
X	CHAIN LINK FENCE
□	COLUMN
▭	CONCRETE
▭	CONCRETE PLANTER
▭	CONCRETE WALL
---	CONTOUR
D	DRAIN
DO	DRAIN CLEANOUT
—	EDGE OF PAVEMENT
EC	ELECTRIC CABINET
EL	ELECTRIC LID
EV	ELECTRIC VEHICLE CHARGING
FF	FINISHED FLOOR
FS	FINISHED SURFACE
FH	FIRE HYDRANT
FL	FLOW LINE
GS	GAS PUMP
GT	GAS TANK
GP	GATE
↑	GUARD POST
GR	GUARD RAIL
—	HEDGE
HO	HOSEBIB
IB	IRRIGATION BOX
IV	IRRIGATION CONTROL VALVE
○	LIGHT
○	LIGHT POST
□	LIGHT W/ CONC BASE
♁	MAILBOX
ML	METAL LID
NG	NATURAL GROUND
○	OAK
○	PALM
PS	PAY STATION
PG	PG & E BOX
☼	PINE TREE
P	PLANTER
—	PROPERTY LINE
⊙	SEWER CLEANOUT
⊙	SEWER MANHOLE
SB	SIGN
SL	STREET LIGHT BOX
○	STREET LIGHT POST
TL	TANK LID
V	TIN FENCE
TIR	TIRE ROLLER
TC	TOP OF CURB
TP	TOP OF PLANTER
TW	TOP OF WALL
TSB	TRAFFIC SIGNAL BOX
TR	TRANSFORMER
○	TREE
UB	UNKNOWN BOX
VP	VACUUM PUMP POST
WM	WATER METER
□	WOOD FENCE
▭	WOOD PLANTER



DATE	REVISIONS	INITIALS	A.L.T.A.		
			DRAWN SK	DATE 2/27/25	ADDRESS 90 & 100 E. HIGHWAY 246 BUELLTON, CA 93427
			APPROVED	DATE	
			SCALE 1" = 20'	SHEET 1 OF 2	PROJECT NO. 24195

PAYAN SURVEYING, INC.
2404 MARY CLARE STREET
CORONA, CA 92882
PHONE: 951-356-6456
EMAIL: payan@payansurveying.com
PLS 7796

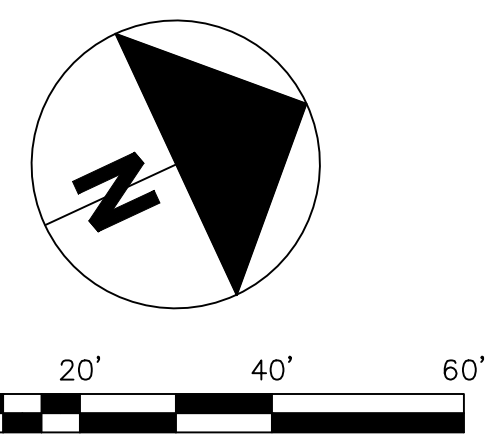
A.L.T.A. / N.S.P.S LAND TITLE SURVEY



LINE	Bearing	Distance	RECORD DATA
L1	N24°54'22"E	14.95'	14.79' R2
L2	N43°23'25"E	38.25'	38.24' R6
L3	N43°23'25"E	34.24'	34.22' R6
L4	N59°32'18"E	39.07'	39.05' R9
L5	N26°37'41"E	32.15'	32.14' R9
L6	N59°30'16"E	39.29'	39.28' R9
L7	N26°37'41"E	39.63'	39.61' R9

LEGEND

- AC AC UNIT
- AP ACCESS PEN
- AW AIR & WATER
- BF BACKFLOW
- X BARBED WIRE FENCE
- █ BLOCK WALL
- BP BREATHING PIPE
- ▨ BRICK
- ▭ BUILDING
- CAR STOP
- CATV CATV LID
- X CHAIN LINK FENCE
- COLUMN
- ▭ CONCRETE
- ▭ CONCRETE PLANTER
- ▭ CONCRETE WALL
- CONTOUR
- D DRAIN
- DO DRAIN CLEANOUT
- EC EDGE OF PAVEMENT
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- GP GUARD POST
- GR GUARD RAIL
- HEDGE
- IB HOSEBIB
- IB IRRIGATION BOX
- IV IRRIGATION CONTROL VALVE
- LIGHT
- LIGHT POST
- LIGHT W/ CONC BASE
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- ML METAL LID
- NG NATURAL GROUND
- OAK
- PALM
- PS PAY STATION
- PG & E BOX
- PINE TREE
- PLANTER
- PROPERTY LINE
- SEWER CLEANOUT
- SEWER MANHOLE
- SIGN
- STREET LIGHT BOX
- STREET LIGHT POST
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- TIN FENCE
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- TP TOP OF PLANTER
- TW TOP OF WALL
- TSB TRAFFIC SIGNAL BOX
- TR TRANSFORMER
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- UB UNKNOWN BOX
- VP VACUUM PUMP POST
- WM WATER METER
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- WOOD PLANTER



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 PHONE: 951-356-6456
 EMAIL: payan@payansurveying.com
 PLS 7796

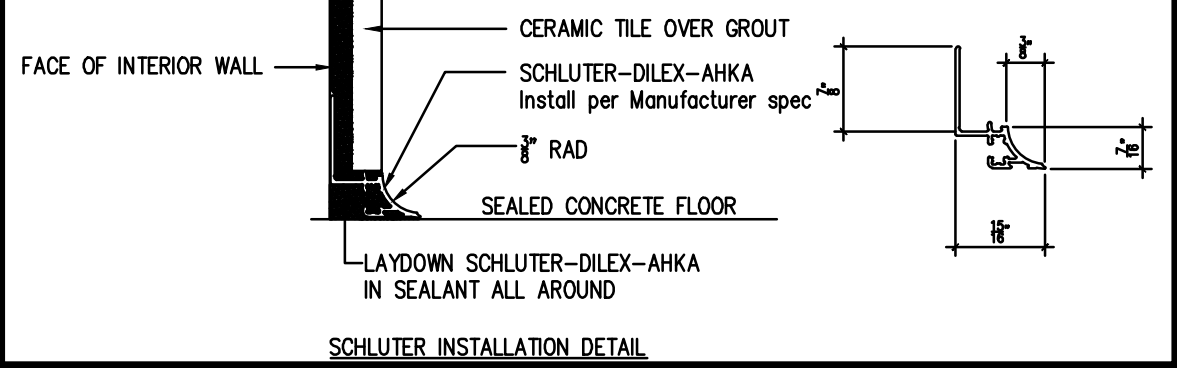
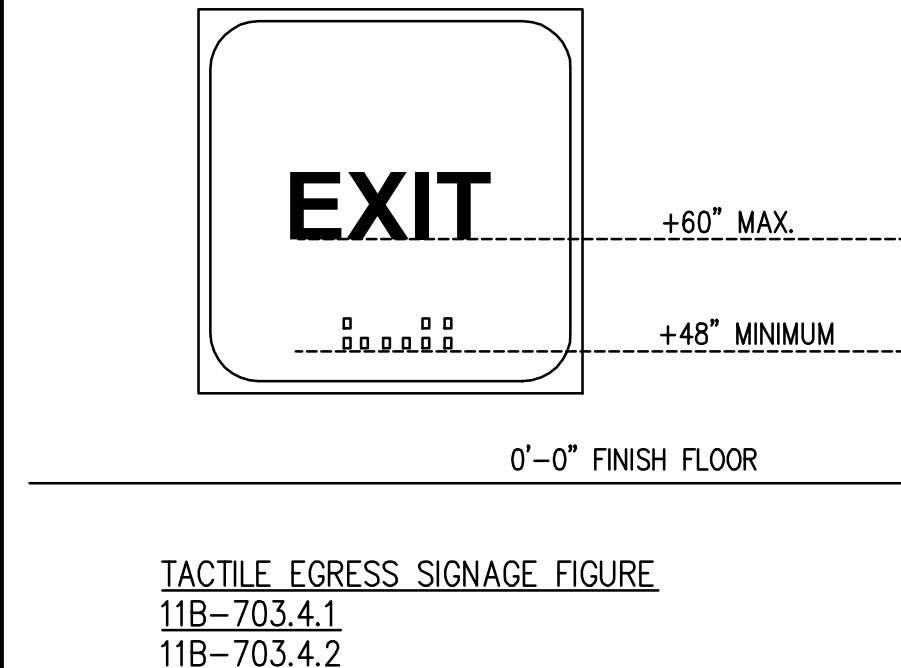
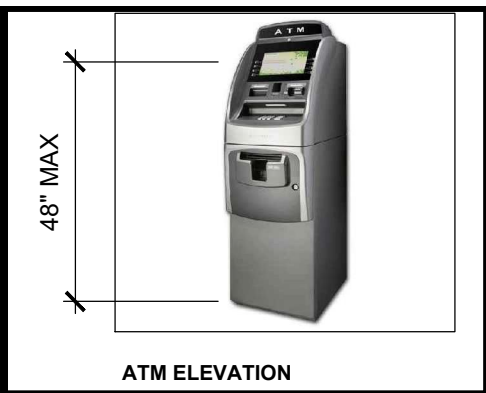
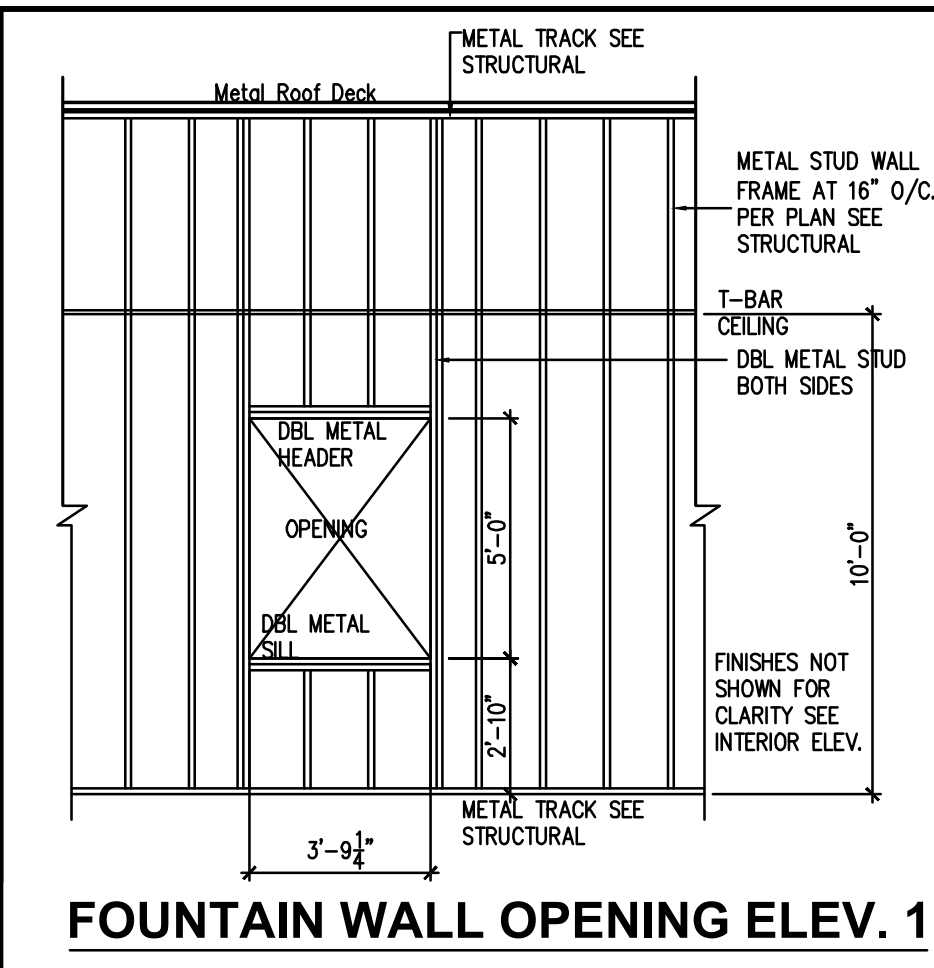
DATE	REVISIONS	INITIALS

A.L.T.A.		
DRAWN SK	DATE 2/27/25	ADDRESS 90 & 100 E. HIGHWAY 246 BUELLTON, CA 93427
APPROVED	DATE	
SCALE 1" = 20'	SHEET 2 OF 2	PROJECT NO. 24195

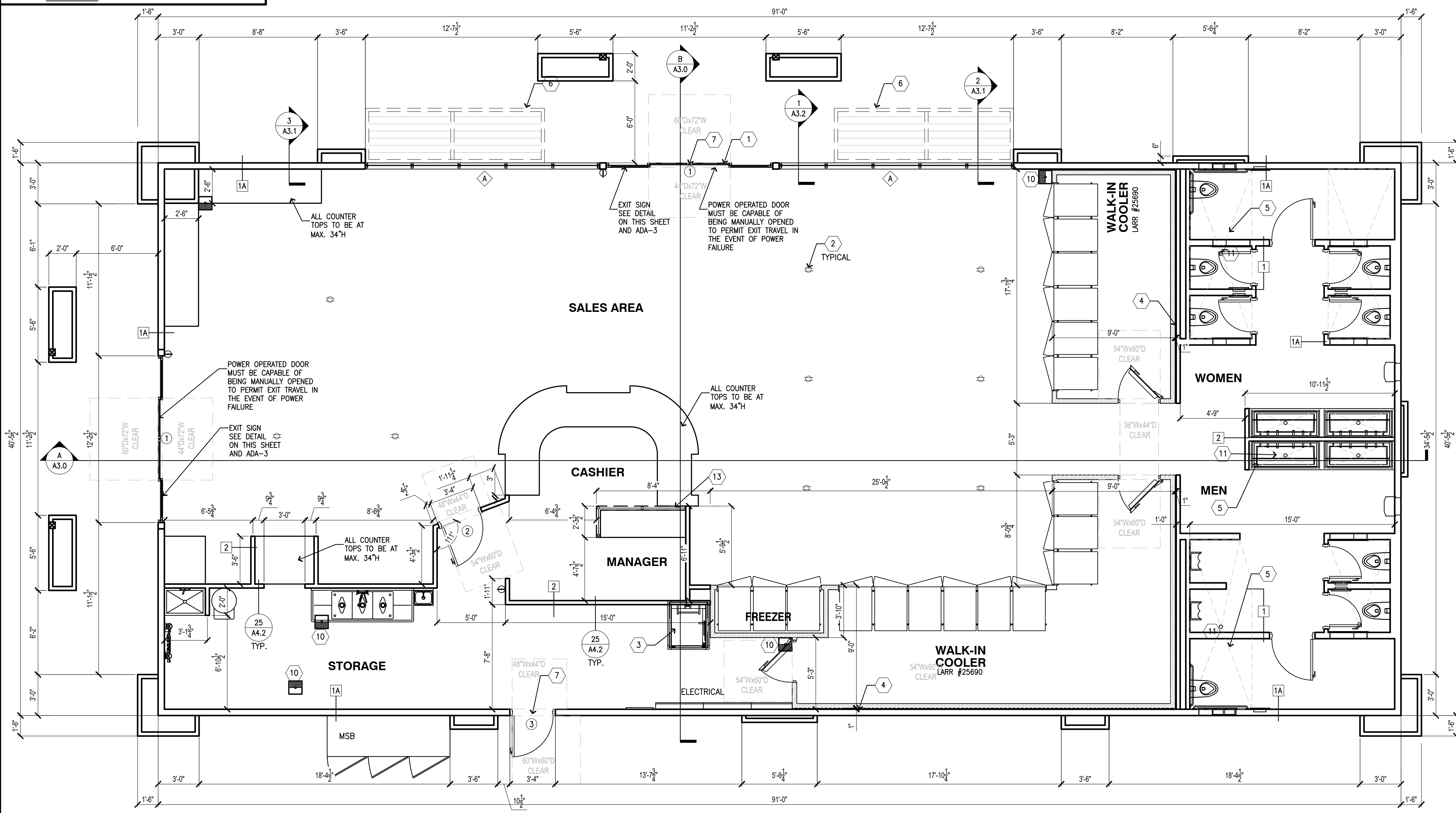
ROOM FINISH SCHEDULE

CONTRACTORS NOTE: TILE TO RUN CONTINUOUS UNDER CABINETS

INTERIOR FINISHES	SALES	CASHIER	RESTROOMS	UTILITY / BACKROOM	ELECTRICAL	WALK-IN COOLER
FLOOR	POLISHED NATURAL CONCRETE WITH CLEAR CONCRETE CURING, SEALING & DUSTPROOFING PERMASEAL ITEM NO. 3900. CONSTRUCT CONTROL JOINT EACH WAY PER A1.2 DRAWING. DO NOT PAINT THE FLOOR.		NATURAL CONCRETE WITH CLEAR CONCRETE CURING, SEALING & DUSTPROOFING PERMASEAL ITEM NO. 3900. CONSTRUCT CONTROL JOINT EACH WAY PER A1.2 DRAWING. DO NOT PAINT THE FLOOR.			
BASE	DALTILE CHORD SERIES, FORTE GREY CH25 UNPOLISHED WITH SCHLUTER COVE BASE TRIM AND SCHLUTER TOP TRIM		DALTILE, CERAMIC TOPSET THIN LIP COVE BASE SLIM FOOT DESIGN PRODUCT: SEMI-GLOSS, COLOR: GRAY SIZE: 6"x6" WITH 8" RADIUS, OR TBO BY OWNER			
WALLS	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. PAINT AND OTHER FINISHES PER SHEET 11,12,13 & 14		WALL TILE OVER 5/8" WATER RESISTANT GYPSUM PER SHEET 11 & 15		FRP PANELS OVER 5/8" GYPSUM WALL BOARD. FRP PANELS T.B.D BY OWNER	
SOFFIT	FASCIA PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. SEE WALL SECTIONS AND INTERIOR ELEVATIONS		NOT APPLICABLE			
CEILING	OPEN CEILING REFER TO CALLOUT ON A1.3.		PAINTED SMOOTH FINISH 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A1.3.		WASHABLE SUSPENDED WHITE CEILING TILE REFER TO CALLOUT ON A1.3.	



FOUNTAIN WALL OPENING ELEV. 1



GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- ALL DENOTED DIMENSIONS ARE TO BE USED. PLANS SHALL NOT BE SCALED.
- EXTERIOR WALL ARE 2x6, INTERIOR WALLS 2x4 U.N.O.C., SEE STRUCTURAL PLANS FOR FRAMING REQUIREMENTS.
- SEE PLUMBING PLANS FOR DIMENSIONS TO PLUMBING FIXTURES REFER TO SHEET Q1.1 FOR EQUIPMENT PLAN.
- REFER TO SHEET Q2.1 FOR EQUIPMENT SCHEDULE.
- ALL EQUIPMENT SHALL MEET ACCESSIBILITY REACH RANGE REQUIREMENTS.
- PROVIDE PLASTIC CORNER GUARDS AT EDGES BELOW 6'-0".
- ALL COUNTERTOPS SHALL BE MAX. 34" A.F.F. WITH A 3'-FOOT WIDE TRANSACTION AREA AT CASHIER. CONTRACTOR SHALL COORDINATE WORK WITH CABINET INSTALLER FOR CABINET INSTALLATION. CONTRACTOR TO ROUTE UTILITIES THROUGH CABINETS. CONTACT CABINET INSTALLER FOR SITE SPECIFIC CABINET SHOP DRAWINGS.
- 4" HIGH BACKSPLASH AT ALL COUNTERTOPS THAT TERMINATE AT WALL. BACKSPLASH TO MATCH COUNTERTOP MATERIAL.
- THE CONTRACTOR SHALL ASSIST STORE PERSONNEL BY ASSEMBLING MERCHANDISE GONDOLAS AND SHELVING AS SHOWN ON Q1.1.
- ALL EQUIPMENT AND CABINETS SHALL BE FREE OF SHARP EDGES. CONTACT MANUFACTURER OR PREP EDGES FOR SAFETY.
- CONTRACTOR SHALL ROUTE ALL CONDENSATE DRAIN LINES TO FLOOR SINKS.
- CONTRACTOR SHALL INSTALL NEW PARTITIONS/WALLS WITH GYPSUM WALL BOARD AND FINISHES AS NOTED ON FINISH SCHEDULE AND INTERIOR ELEVATIONS ON SHEET A2.3 THRU A2.6. ALL PARTITIONS/WALLS SHALL BE BRACED FOR LATERAL FORCES, PER BUILDING CODE REQUIREMENTS.
- FLAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS SHALL COMPLY WITH LOCAL CODES.
- FIRE EXTINGUISHERS (2A-10B:C) SHALL BE INSTALLED AT SALES COUNTER, BACK ROOM, OFFICE, & FUEL CANOPY LOCATIONS IF NOT SHOWN ELSEWHERE ON THESE DRAWINGS. VERIFY WITH OWNER FOR DETAILS, CONFIRM FINAL DETAILS WITH LOCAL FIRE INSPECTOR.
- CONTRACTOR SHALL ASSIST THE OWNER WITH STORE EQUIPMENT TO PREPARE A DELIVERY STAGING AREA. COORDINATE WITH OWNER FOR THE DELIVERY SCHEDULE AND SHIPPING DAMAGES, AS APPLICABLE.
- CONTRACTOR SHALL PROVIDE A CLEAN, SMOOTH SURFACE FOR GRAPHICS INSTALLATION.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR FROM CABINET AND EQUIPMENT CLEARANCES PRIOR TO WALL ERECTION. DISCREPANCIES SHALL BE DIRECTED TO OWNER.
- WATER HEATERS SHALL BE CAPABLE OF DELIVERING MIN. 120" WATER TO ALL SINKS.
- ALL FLOOR/WALL TILE AND COVE BASE SHALL BE INSTALLED BY THE GENERAL CONTRACTOR ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
- ALL DOORS MUST HAVE NO MORE THAN 5 LBS OPENING FORCE AND MUST HAVE A SWEEP PERIOD OF 3 SECONDS TO CLOSE FROM 70" OPEN TO 3" FROM THE LATCH.
- CARBONATOR BACK-FLOW PREVENTOR DRAIN LINE OUTLET SHALL BE TO NEW FLOOR SINK PROVIDED FOR THIS AREA.

KEYED NOTES

- ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.1 & SPECIFICATION.
- FLOOR RECEPTACLES, REFER TO ELECTRICAL PLANS.
- ROOF LADDER PER DETAIL 7/A4.1
- 1" MINIMUM AIR GAP AT PREFABRICATED COOLER/FREEZER
- SLOPED SLAB @ 1%
- AWNING ABOVE
- THRESHOLD AT EXTERIOR DOORS
- RECESSED STAINLESS STEEL FILL BOX WITH QUICK-DISCONNECT MALE FILL AND VENT HOSE CONNECTION FOR CO2 TANK
- 1-HR FIRE RATED WALL (INSTALL 2 LAYERS OF TYPE "X" GYPSUM BOARD ON THE FIRE SIDE)
- FLOOR SINK
- FLOOR DRAIN
- CATCH BASIN (SEE CAR WASH DRAWINGS). SLOPE FLOOR BACK TO CATCH BASIN @ MIN. 0.5%
- 36"H STEM WALL WITH 36" GLAZING ON TOP
- 6"H CONCRETE CURB ALONG CAR WASH INTERIOR WALL

LEGEND

- EXTERIOR WOOD FRAMED WALL
- INTERIOR WOOD FRAMED WALL
- PREFABRICATED COOLER/FREEZER WALL
- 1 2x6 STUDS @ 16" o.c.
- 1A 2x6 STUDS @ 16" o.c. W/ THERMAL INSULATION
- 2 2x4 STUDS @ 16" o.c.
- 2A 2x4 STUDS @ 16" o.c. W/ SOUND BATT INSULATION
- 3 2X4 STUDS @ 16" o.c. RESTROOM PARTITION WALL, 96"H w/ 12" OPEN BELOW
- 4 2X4 STUDS @ 16" o.c. 36"H STEM WALL
- X DOOR SYMBOL, REFER TO SHEET A5.1 FOR DETAILS
- X WINDOW SYMBOL, REFER TO SHEET A5.1 FOR DETAILS

OCCUPANCY LOAD

SALES - 2,086 S.F. (2086/60)	= 35
RESTROOMS - 666 S.F. (EXEMPT)	= 0
STORAGE/COOLER - 930S.F. (930/300)	= 4
TOTAL: 3,682 S.F.	= 39 OCCUPANTS

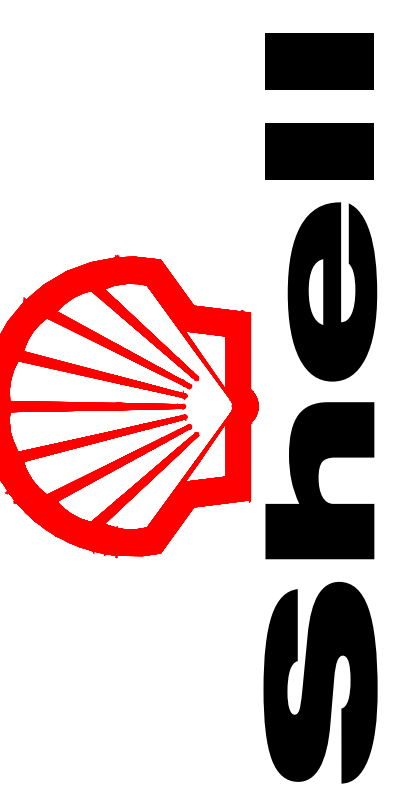
*COOLER IS A NON OCCUPIABLE SPACE PER SECTION 202 DEFINITION OF AN OCCUPIABLE SPACE.

EXITS REQUIRED: 2
EXITS PROVIDED: 2

REVISIONS

NO.	DATE	DESCRIPTION

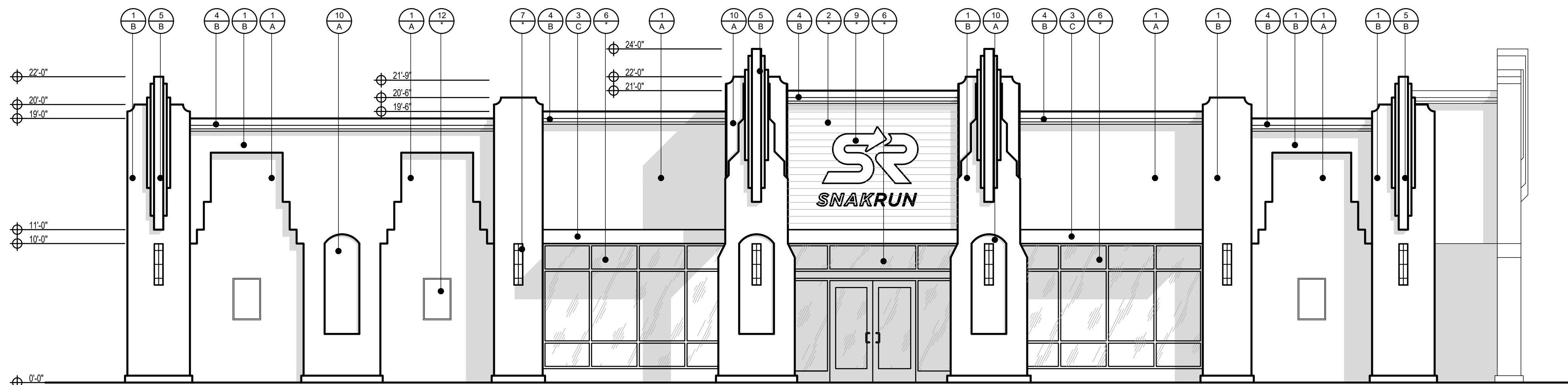
CJC Design, Inc.
Design Planning Permitting
22485 La Palma Avenue, Suite 202, Yorba Linda, CA 92887
Tel: 714-922-6646
www.cjcdp.com



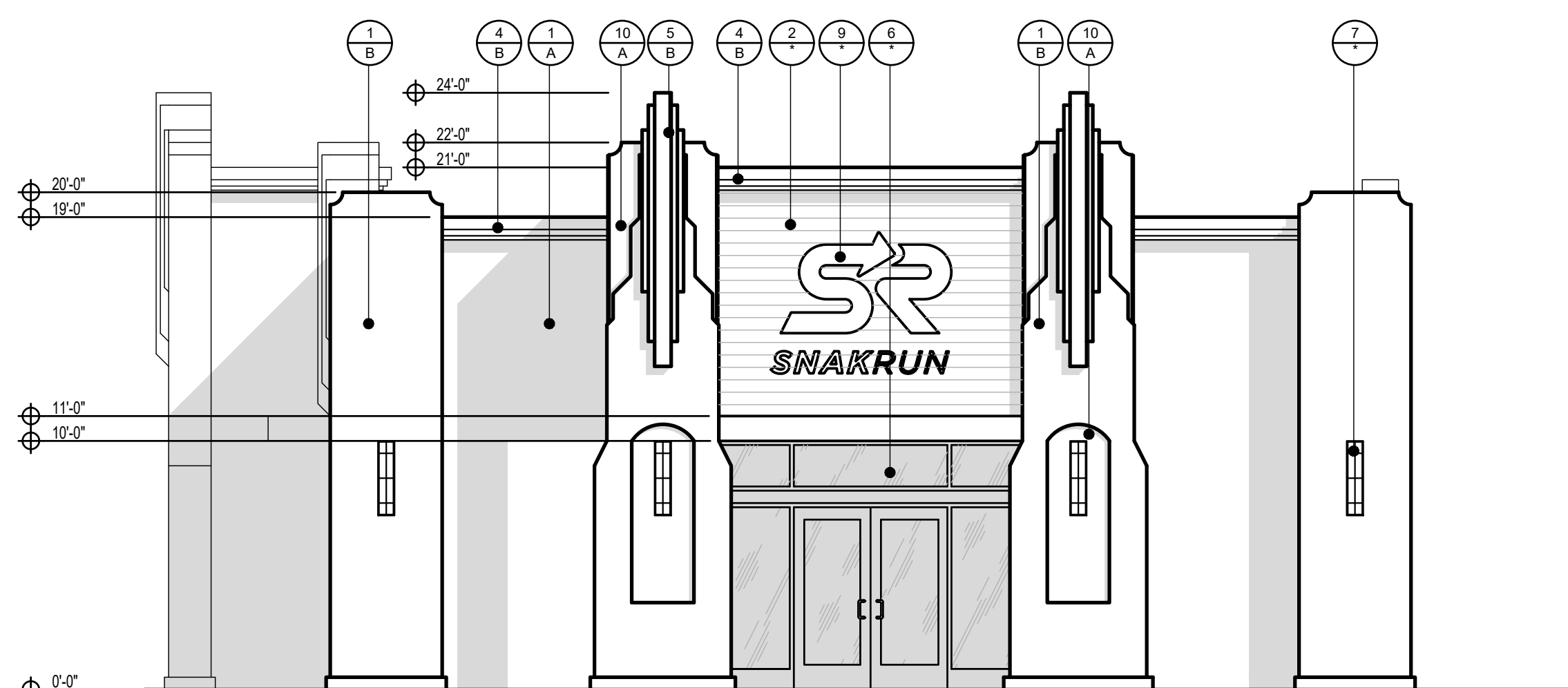
PROJECT:
90 EAST HIGHWAY 246
BUELLTON, CA. 93427

FLOOR PLAN

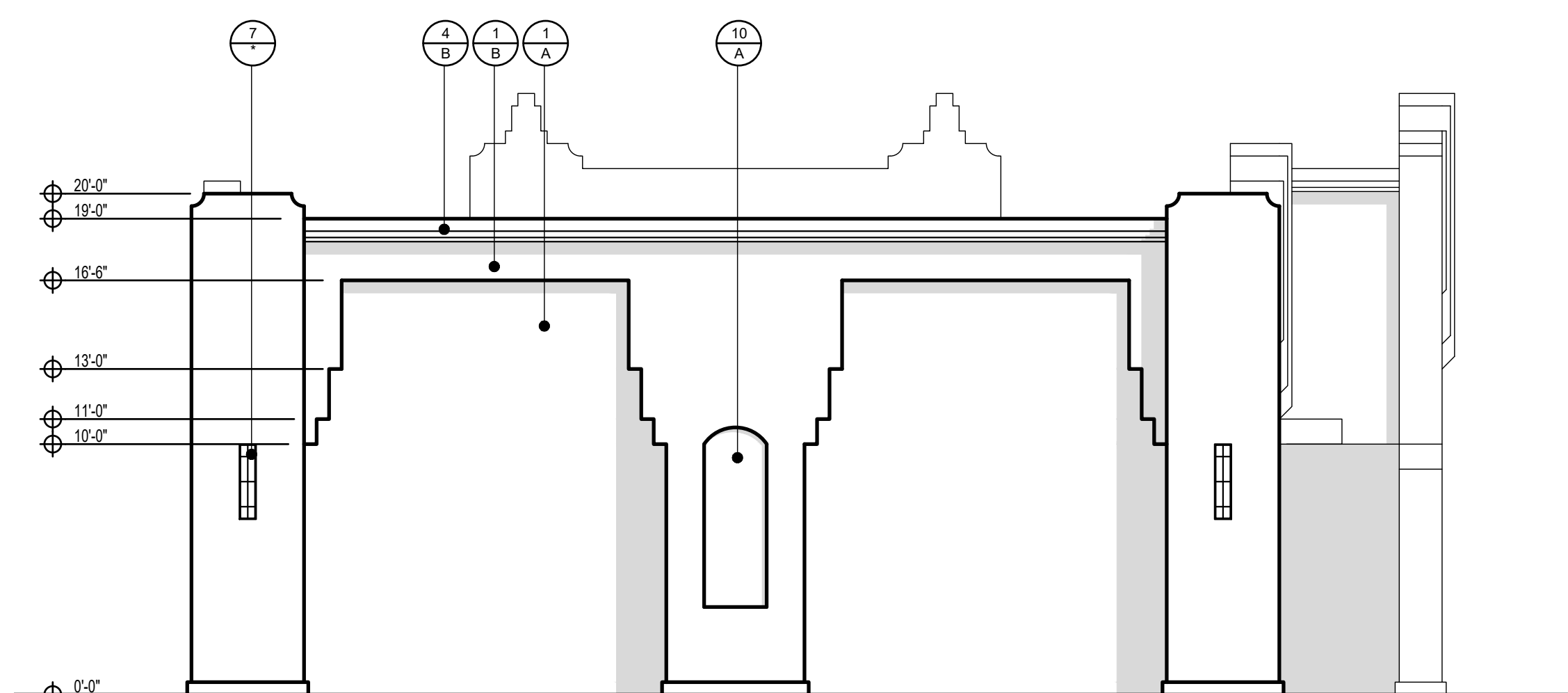
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SCALE: 1/4"=1'-0"
DRAWN BY: C. ROSCIGNO
CHECKED BY: F. COHEN
PROJECT NUMBER: 24030
STORE NUMBER: Shell
SHEET: A11



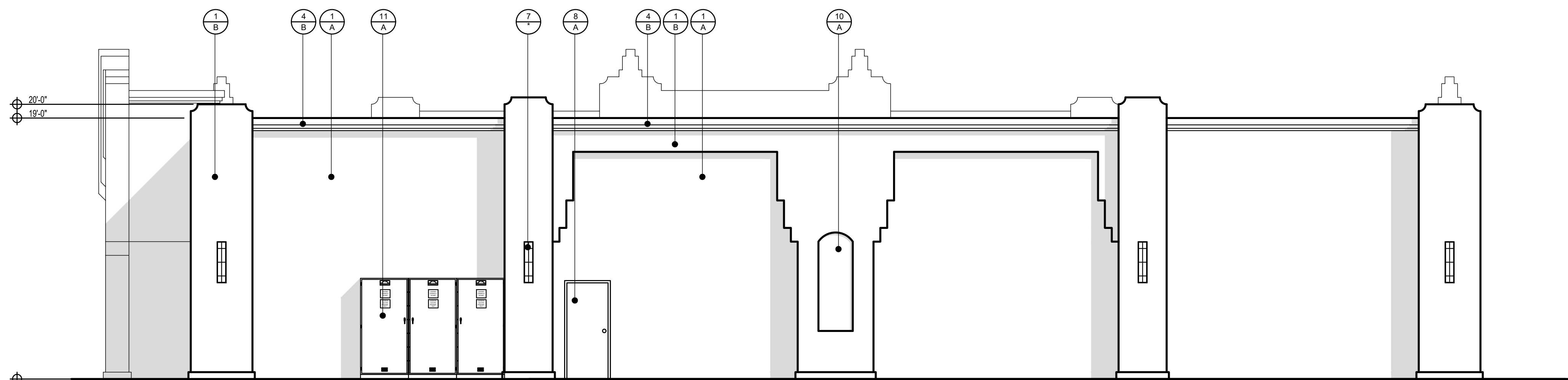
NORTH ELEVATION



WEST ELEVATION



EAST ELEVATION



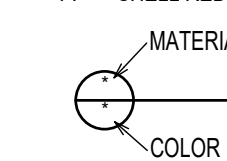
SOUTH ELEVATION

MATERIAL:

1. 3-COLOR COAT STUCCO (a) IS A 3-COAT, 7/8 INCH MINIMUM THICK (b) HAS TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING; AND (c) HAS 26 ga GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCH ABOVE CONCRETE OR PAVING)
2. LONGBOARD 6" DARK CHERRY ALUMINUM SIDING PLANKS
3. ALUMINUM COMPOSITE FASCIA PANELS MANUF. ALUCOBOND OR EQUAL (FOR FUEL CANOPY AND AWNINGS)
4. STUCCO FINISH TOP TRIM
5. STUCCO FINISH VERTICAL CORNICE
6. FRONT GLAZING WITH ANODIZED ALUMINUM FRAME AND 1/2" TEMPERED GLASS (TINTED WHEN AGAINST SOLID BACKING)
7. AVATAR WALL LIGHT BY VISA LIGHTING
8. 3'X7' HOLLOW METAL DOOR
9. SIGNAGE UNDER SEPARATE PERMIT
10. 1/2" STUCCO INSET
11. ELECTRICAL SWITCH GEAR ENCLOSURE WITH SOLID METAL DOORS
12. POP ADVERTISE SIGNS
13. INTERNALLY ILLUMINATED SHELL LAZY "S" PANELS
14. INTERNALLY ILLUMINATED SHELL TUBE
15. FUEL DISPENSERS
16. 6"Ø CONCRETE FILLED BOLLARDS

COLOR:

- A. SHERWIN WILLIAMS SW9542 NATURAL WHITE (MAIN)
- B. SHERWIN WILLIAMS SW9586 WHITE SESAME (ACCENT)
- C. PANTONE PMS 185C (AWNINGS C.STORE)
- D. PANTON PMS 299C (AWNINGS CAR WASH)
- E. SHELL YELLOW
- F. SHELL RED



GENERAL NOTES:

1. CAULK ALL WALL AND ROOF PENETRATIONS
2. APPLY ONE COAT OF WATERPROOFING TO ALL HORIZ. STUCCO SURFACES.
3. SEE SPECIFICATIONS FOR NAILING AND REQUIREMENTS FOR EXTERIOR GRADE PLYWOOD.
4. CAULK ALL WINDOWS AND DOOR FRAMES AT HEAD, SILL AND JAMB (EXTERIOR & INTERIOR).
5. STUCCO FINISH TO BE "LIGHT LACE" AS SPECIFIED BY THE STUCCO MANUFACTURERS ASSOCIATION. ALTERNATE - "MEDIUM DASHED", MACHINE APPLIED.
6. PROVIDE BUILDING ADDRESS # ON FRONT WALL (LEFT SIDE) OR AS DIRECTED BY LOCAL AUTHORITY AND AS SPECIFIED HEREIN.
7. ALL ROOF MOUNTED EQUIPMENT SHALL BE ADEQUATELY SCREENED, SITUATED BELOW THE ROOF PARAPET AND NOT VISIBLE TO PUBLIC RIGHT OF WAY

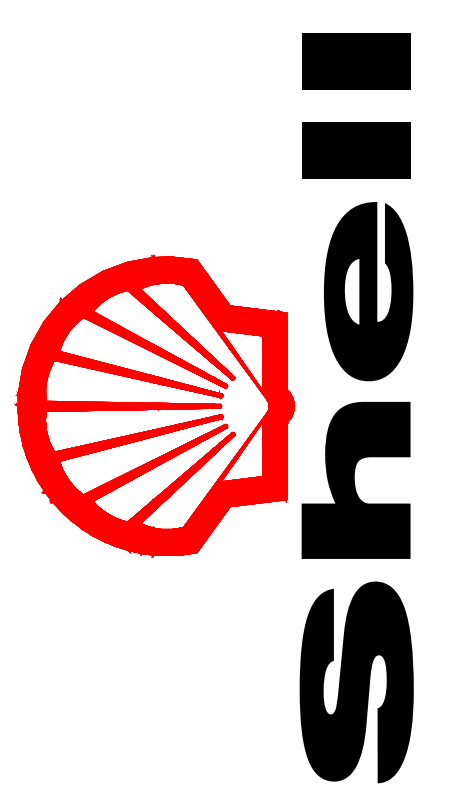
STUCCO NOTES:

1. COLD JOINTS WILL NOT BE ACCEPTABLE UNDER ANY CIRCUMSTANCES.
2. MESH AS SPECIFIED SHALL NOT OVERLAP AT CONTROL JOINTS.
3. MESH OVERLAPS SHALL NOT COINCIDE WITH PLYWOOD JOINTS.
4. MESH WITH GRID EXCEEDING 2'x2" WILL BE REJECTED.
5. USE OF FASTENERS OTHER THAN GALVANIZED WILL NOT BE ACCEPTED.
6. SCARIFICATION AS SPECIFIED SHALL ALWAYS BE IN THE HORIZONTAL DIRECTION.
7. INTERIOR DRYWALL SHALL ALWAYS BE INSTALLED PRIOR TO APPLICATION OF STUCCO.

REVISIONS

NO.	DATE	DESCRIPTION

CJC Design, Inc.
 Design Planning Permitting
 22465 La Palma Avenue, Suite 202, Yorba Linda, CA 92887
 Tel: 714.522.5643
 www.cjcdp.com



PROJECT:
 90 EAST HIGHWAY 246
 BUELLTON, CA. 93427
 C-STORE BUILDING ELEVATIONS

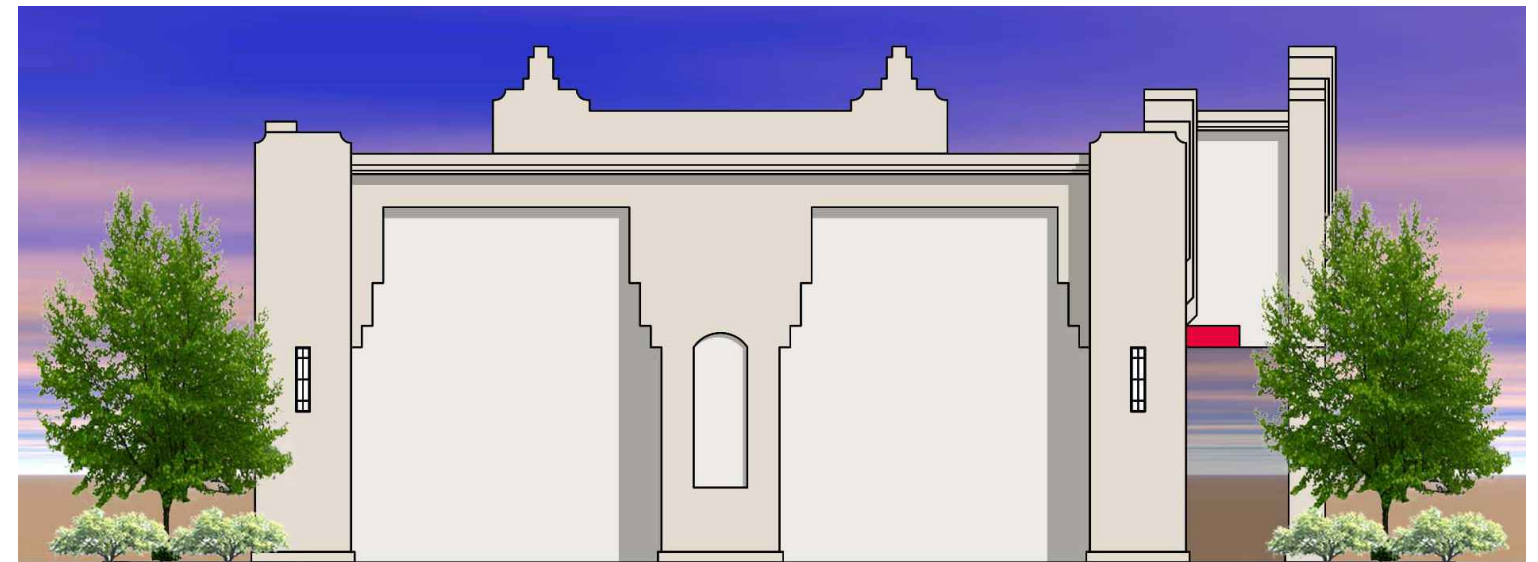
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PROJECT NUMBER: 24030	
STORE NUMBER: Shell	
SHEET: A21	



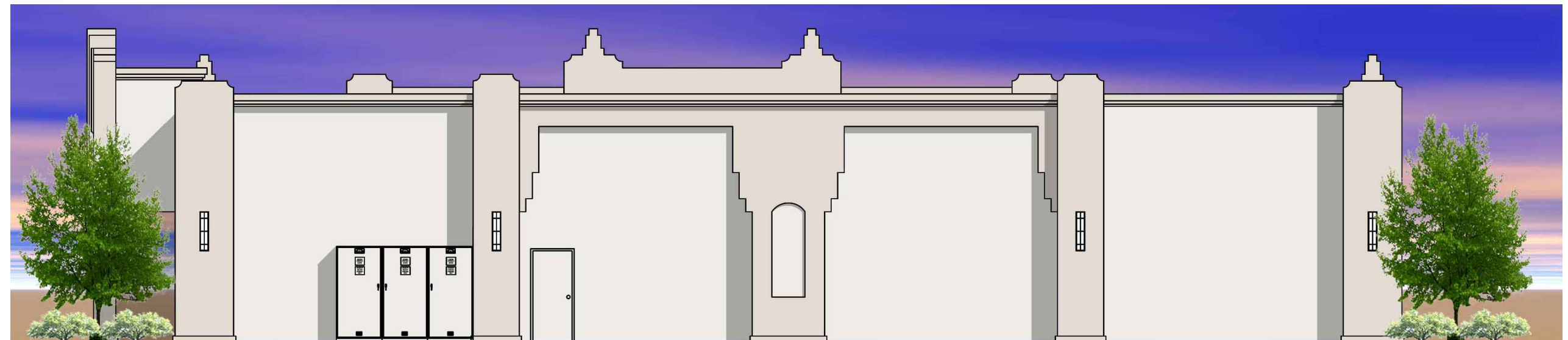
NORTH ELEVATION



WEST ELEVATION



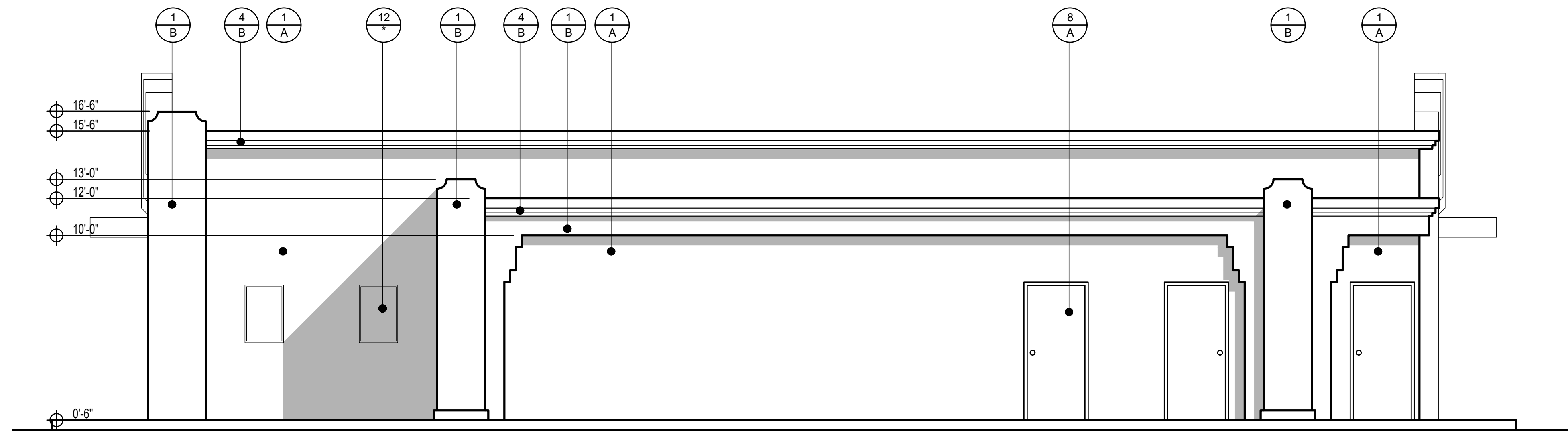
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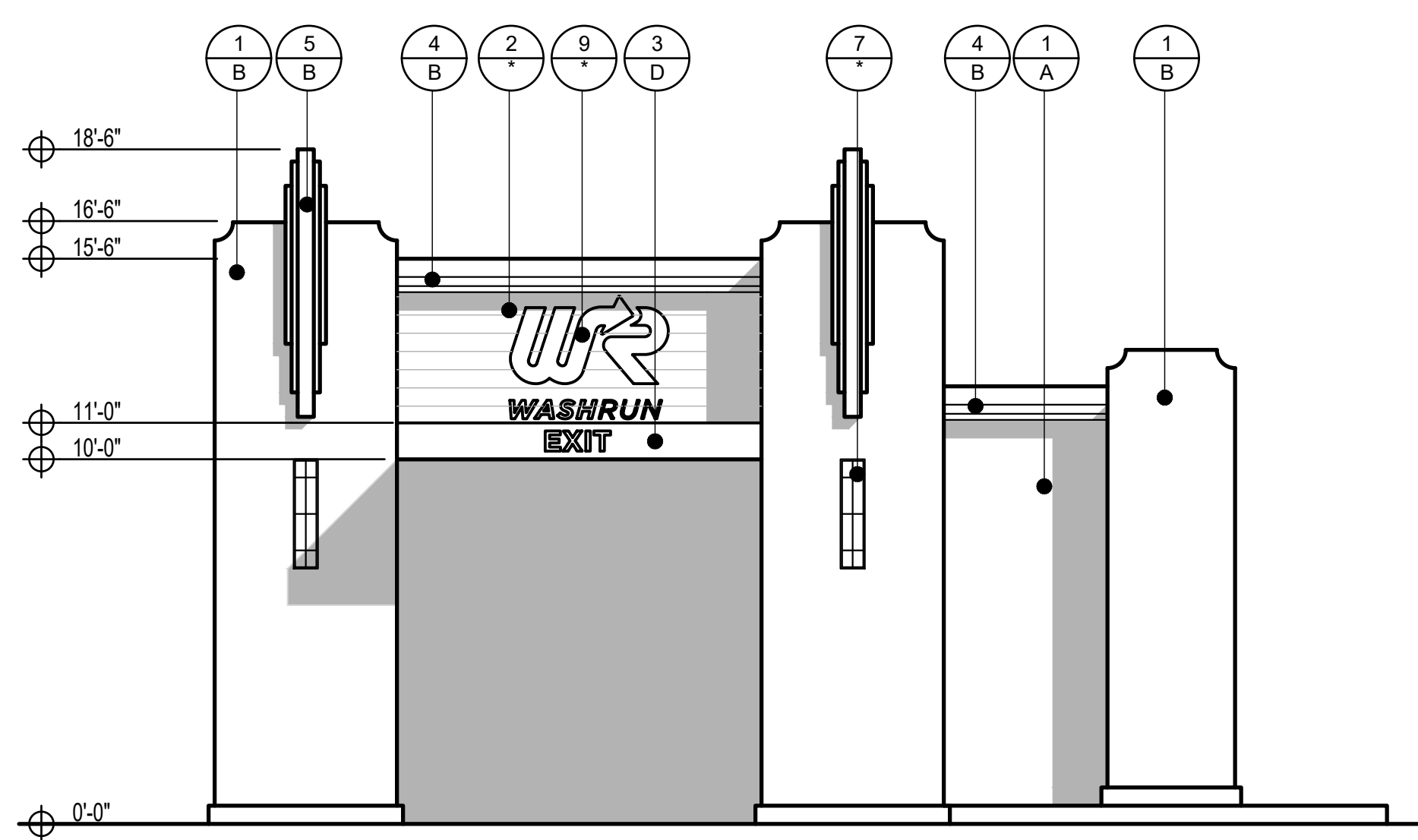
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90 EAST HIGHWAY 246, BUELLTON, CA. 93427

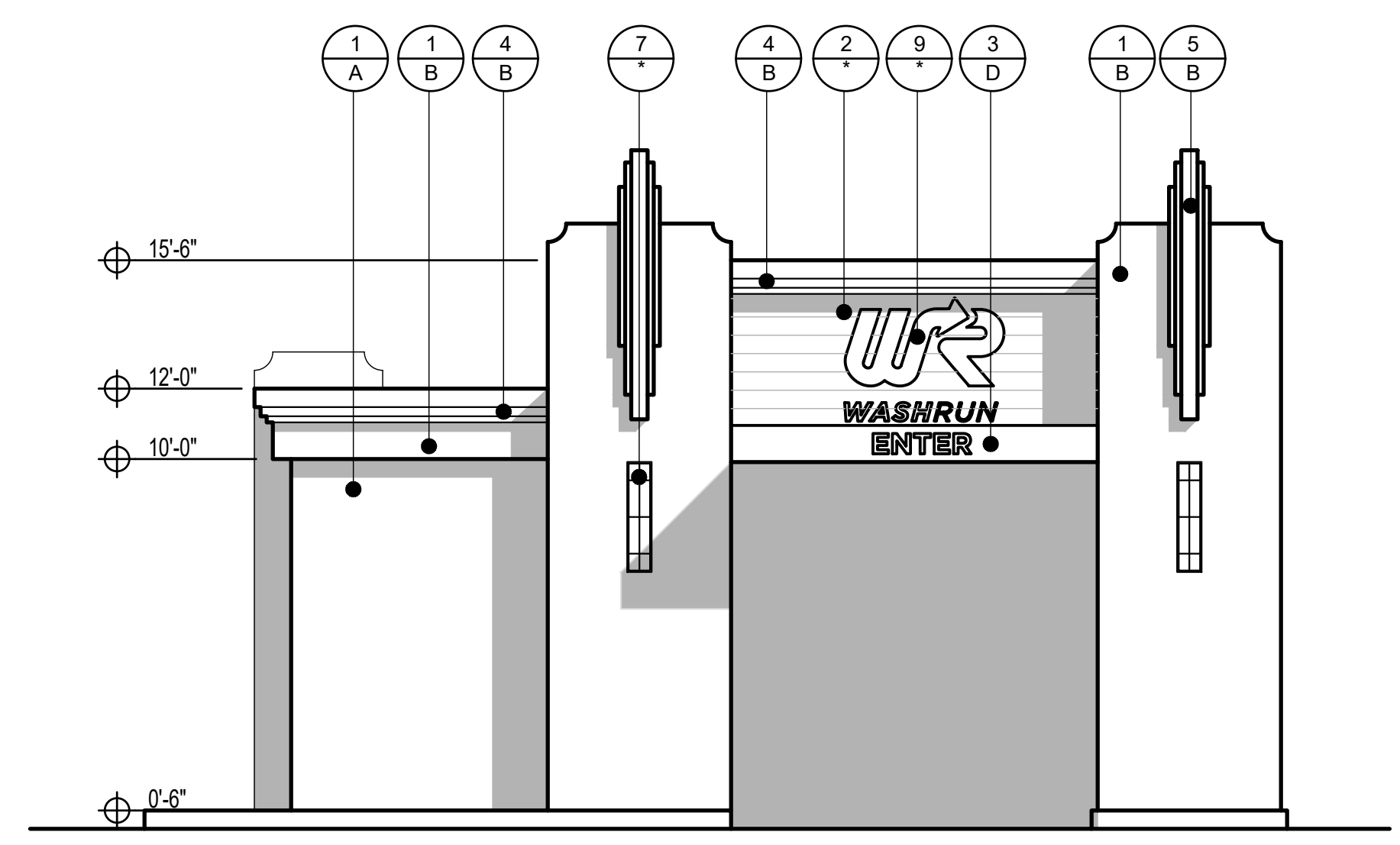




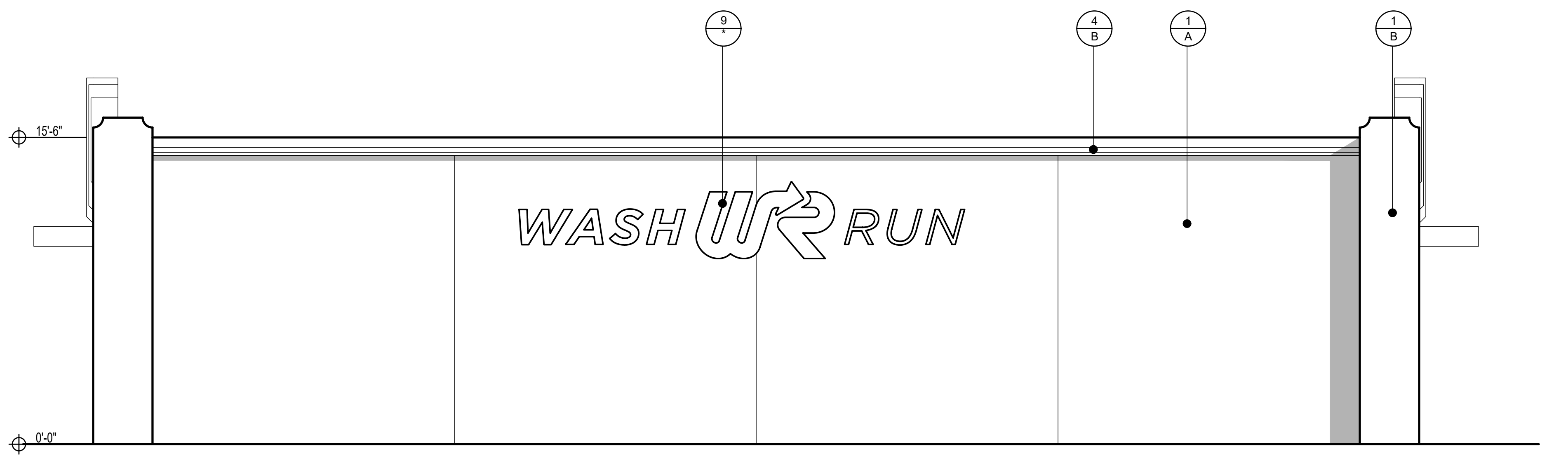
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

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 - SIGNAGE UNDER SEPARATE PERMIT
 - 1/2" STUCCO INSET
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 - PANTONE PMS 185C (AWNINGS C STORE)
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 - SHELL YELLOW
 - SHELL RED
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 - SEE SPECIFICATIONS FOR NAILING AND REQUIREMENTS FOR EXTERIOR GRADE PLYWOOD.
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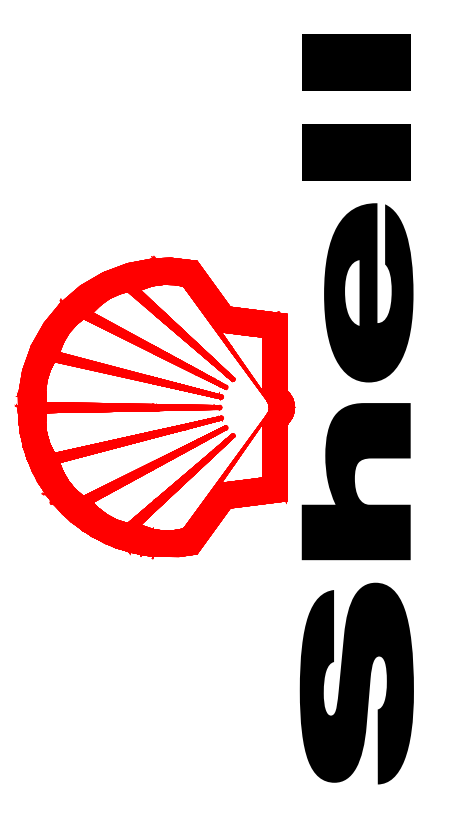
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 - INTERIOR DRYWALL SHALL ALWAYS BE INSTALLED PRIOR TO APPLICATION OF STUCCO.

NO.	DATE	DESCRIPTION

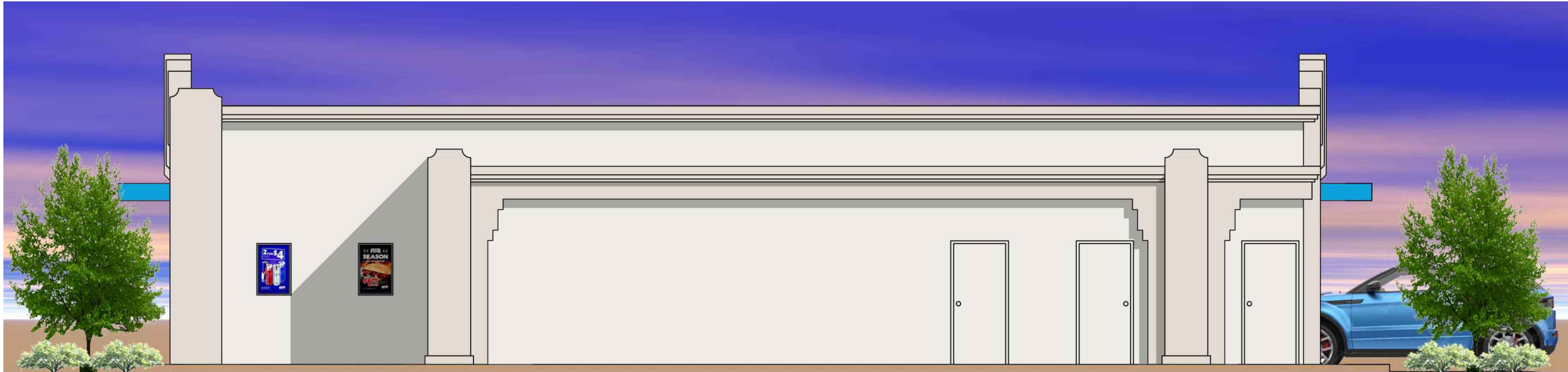
REVISIONS

CJC Design, Inc.
Design Planning Permitting

22485 La Palma Avenue, Suite 202, Yorba Linda, CA 92887
Tel: (714) 20-9643
www.cjcdesign.com



PROJECT:	90 EAST HIGHWAY 246 BUELLTON, CA. 93427 CAR WASH BUILDING ELEVATIONS
DATE ISSUED:	07/02/2024
SCALE:	1/4"=1'-0"
DRAWN BY:	C. ROSCIGNO
CHECKED BY:	F. COHEN
PROJECT NUMBER:	24030
STORE NUMBER:	Shell
SHEET:	A22



WEST ELEVATION



NORTH ELEVATION

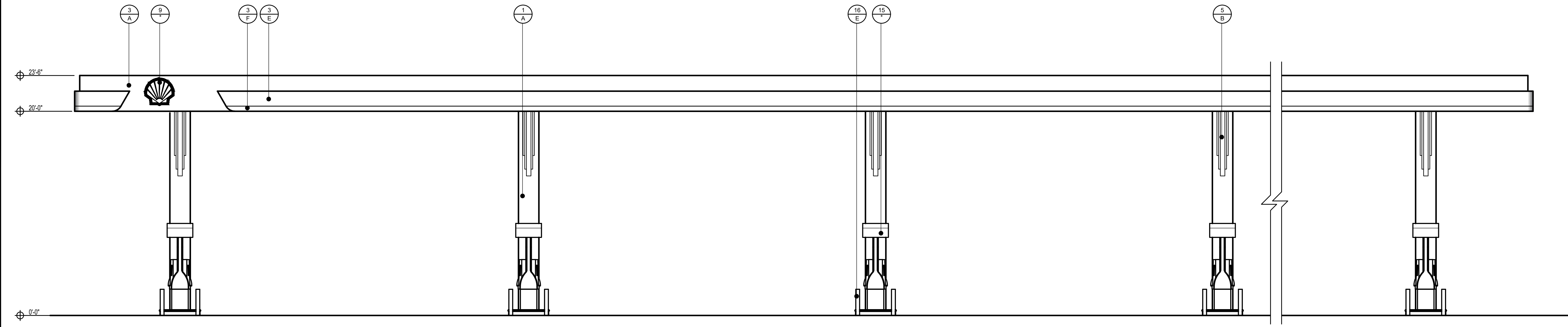


SOUTH ELEVATION

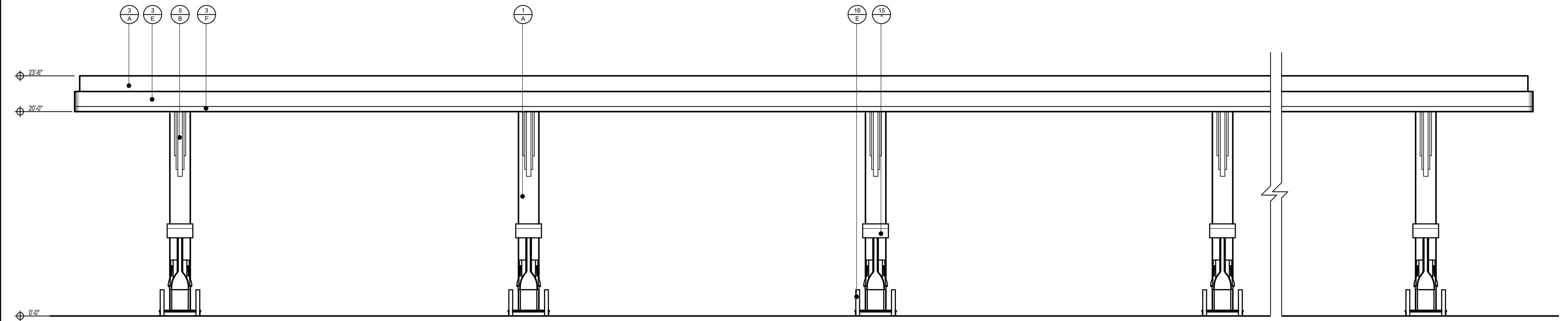


EAST ELEVATION

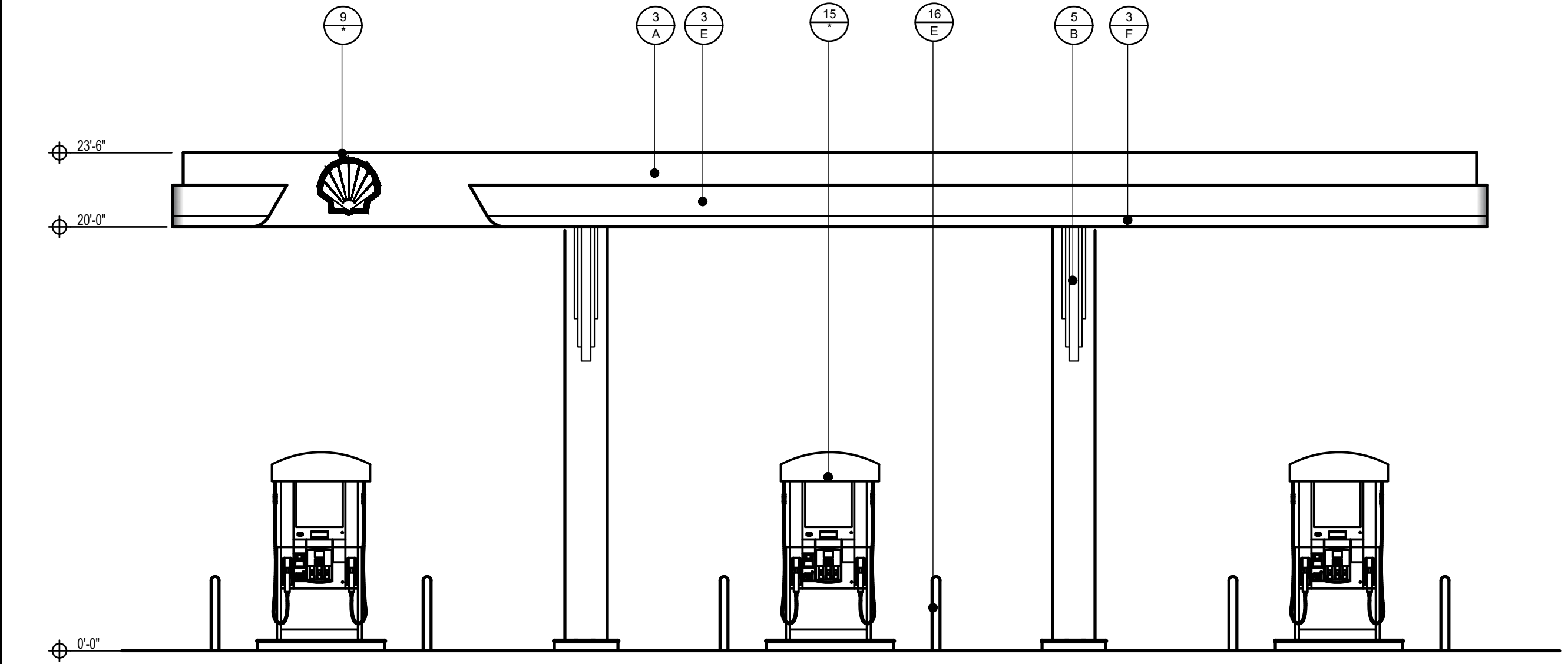




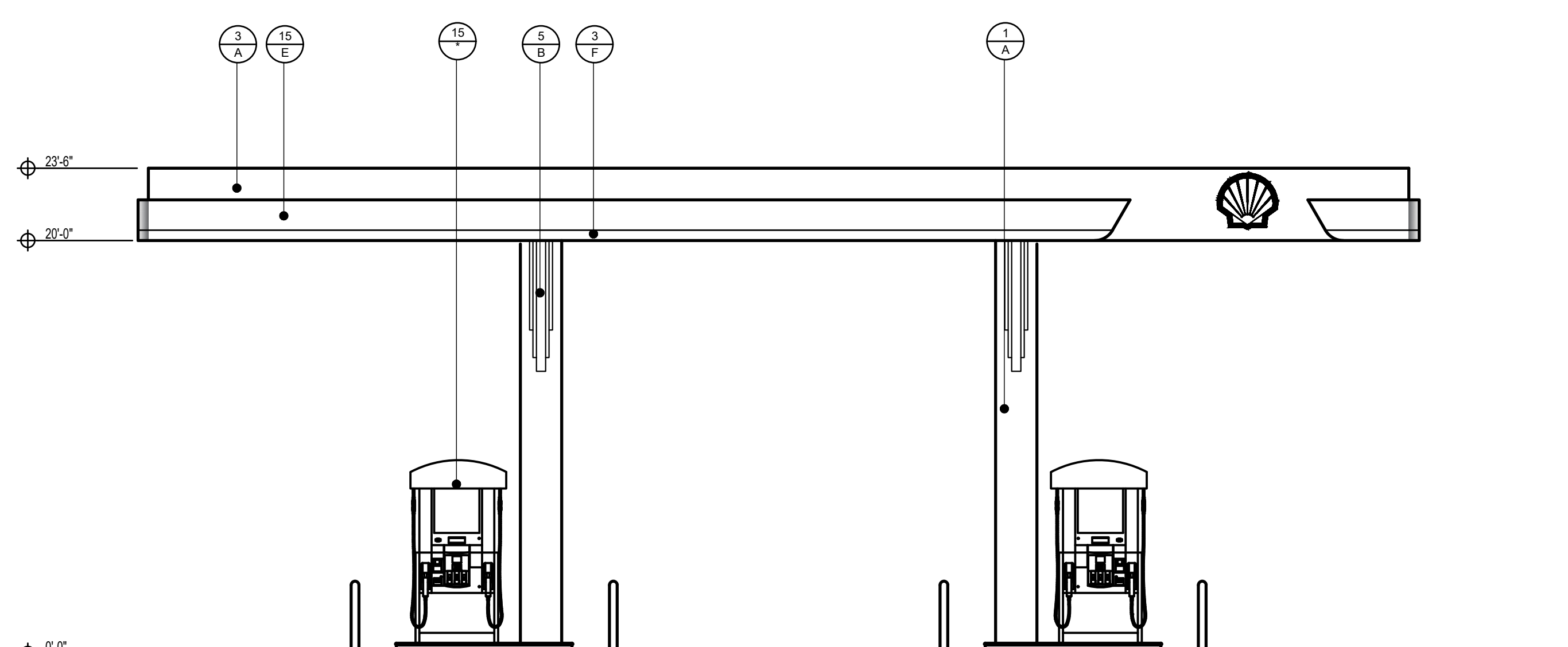
NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

- MATERIAL:**
- 3-COLOR COAT STUCCO (a) IS A 3-COAT, 7/8 INCH MINIMUM THICK (b) HAS TWO LAYERS OF GRADE D PAPER UNDER STUCCO WHERE OCCURS OVER PLYWOOD SHEATHING; AND (c) HAS 26 ga GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCH ABOVE CONCRETE OR PAVING)
 - LONGBOARD 6" DARK CHERRY ALUMINUM SIDING PLANKS
 - ALUMINUM COMPOSITE FASCIA PANELS MANUF. ALUCCOMBOND OR EQUAL (FOR FUEL CANOPY AND AWNINGS)
 - STUCCO FINISH TOP TRIM
 - STUCCO FINISH VERTICAL CORNICE
 - FRONT GLAZING WITH ANODIZED ALUMINUM FRAME AND 1/2" TEMPERED GLASS (TINTED WHEN AGAINST SOLID BACKING)
 - AVATAR WALL LIGHT BY VISA LIGHTING
 - 3'X7' HOLLOW METAL DOOR
 - SIGNAGE UNDER SEPARATE PERMIT
 - 1/2" STUCCO INSET
 - ELECTRICAL SWITCH GEAR ENCLOSURE WITH SOLID METAL DOORS
 - POP ADVERTISE SIGNS
 - FUEL DISPENSERS
 - 6"Ø CONCRETE FILLED BOLLARDS

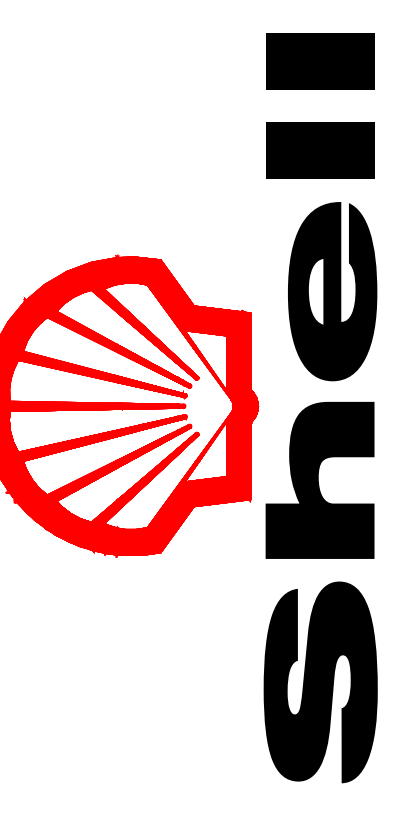
- COLOR:**
- SHERWIN WILLIAMS SW9542 NATURAL WHITE (MAIN)
 - SHERWIN WILLIAMS SW9586 WHITE SESAME (ACCENT)
 - PANTONE PMS 185C (AWNINGS C.STORE)
 - PANTON PMS 299C (AWNINGS CAR WASH)
 - SHELL YELLOW
 - SHELL RED

- GENERAL NOTES:**
- CAULK ALL WALL AND ROOF PENETRATIONS
 - APPLY ONE COAT OF WATERPROOFING TO ALL HORIZ. STUCCO SURFACES.
 - SEE SPECIFICATIONS FOR NAILING AND REQUIREMENTS FOR EXTERIOR GRADE PLYWOOD.
 - CAULK ALL WINDOWS AND DOOR FRAMES AT HEAD, SILL AND JAMB (EXTERIOR & INTERIOR).
 - STUCCO FINISH TO BE "LIGHT LACE" AS SPECIFIED BY THE STUCCO MANUFACTURERS ASSOCIATION. ALTERNATE - "MEDIUM DASHED", MACHINE APPLIED.
 - PROVIDE BUILDING ADDRESS # ON FRONT WALL (LEFT SIDE) OR AS DIRECTED BY LOCAL AUTHORITY AND AS SPECIFIED HEREIN.
 - ALL ROOF MOUNTED EQUIPMENT SHALL BE ADEQUATELY SCREENED, SITUATED BELOW THE ROOF PARAPET AND NOT VISIBLE TO PUBLIC RIGHT OF WAY

- STUCCO NOTES:**
- COLD JOINTS WILL NOT BE ACCEPTABLE UNDER ANY CIRCUMSTANCES.
 - MESH AS SPECIFIED SHALL NOT OVERLAP AT CONTROL JOINTS.
 - MESH OVERLAPS SHALL NOT COINCIDE WITH PLYWOOD JOINTS.
 - MESH WITH GRID EXCEEDING 2'x2' WILL BE REJECTED.
 - USE OF FASTENERS OTHER THAN GALVANIZED WILL NOT BE ACCEPTED.
 - SCARIFICATION AS SPECIFIED SHALL ALWAYS BE IN THE HORIZONTAL DIRECTION.
 - INTERIOR DRYWALL SHALL ALWAYS BE INSTALLED PRIOR TO APPLICATION OF STUCCO.

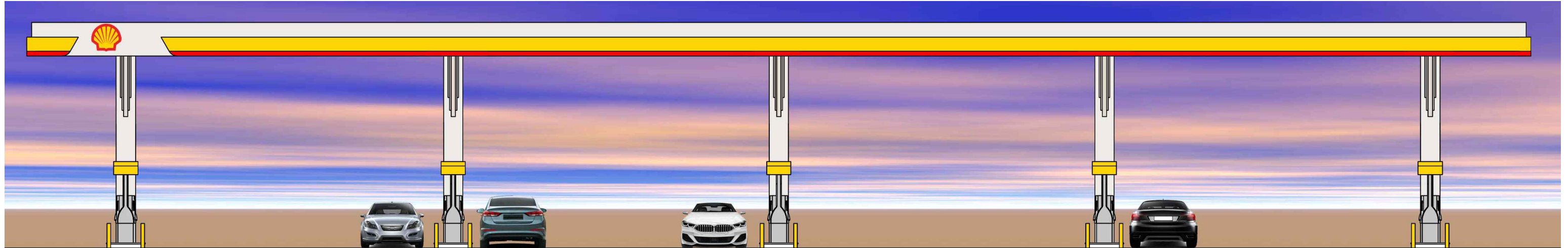
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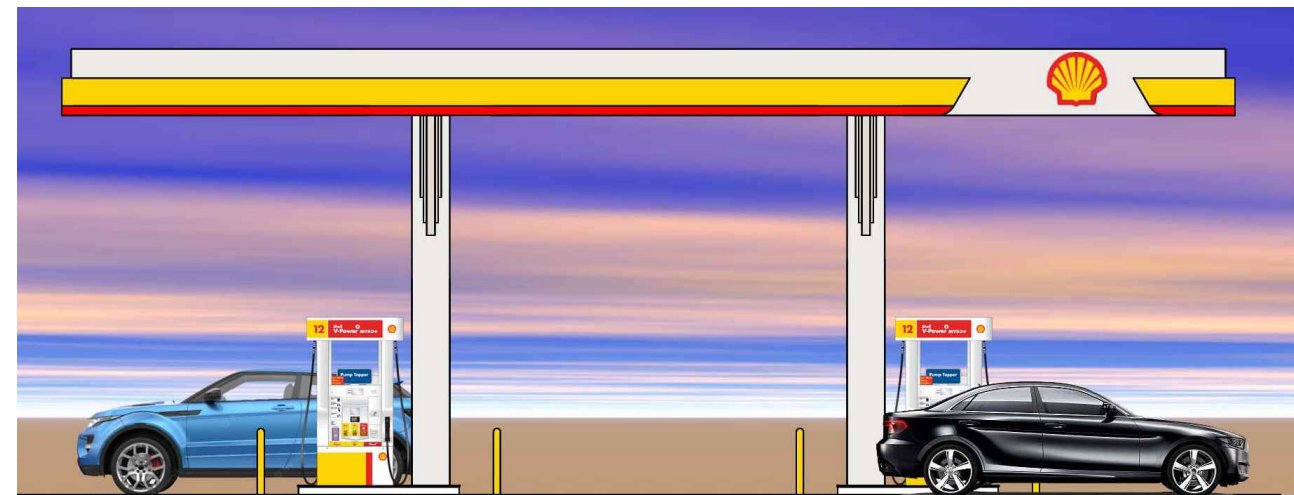


PROJECT:
 90 EAST HIGHWAY 246
 BUELLTON, CA. 93427
 CANOPY ELEVATIONS

DATE ISSUED: 07/02/2024	
SCALE: 3/16"=1'-0"	
DRAWN BY: C. ROSCIGNO	CHECKED BY: F. COHEN
PROJECT NUMBER: 24030	
STORE NUMBER: Shell	
SHEET: A23	



NORTH ELEVATION



EAST ELEVATION



90 EAST HIGHWAY 246, BUELLTON, CA. 93427