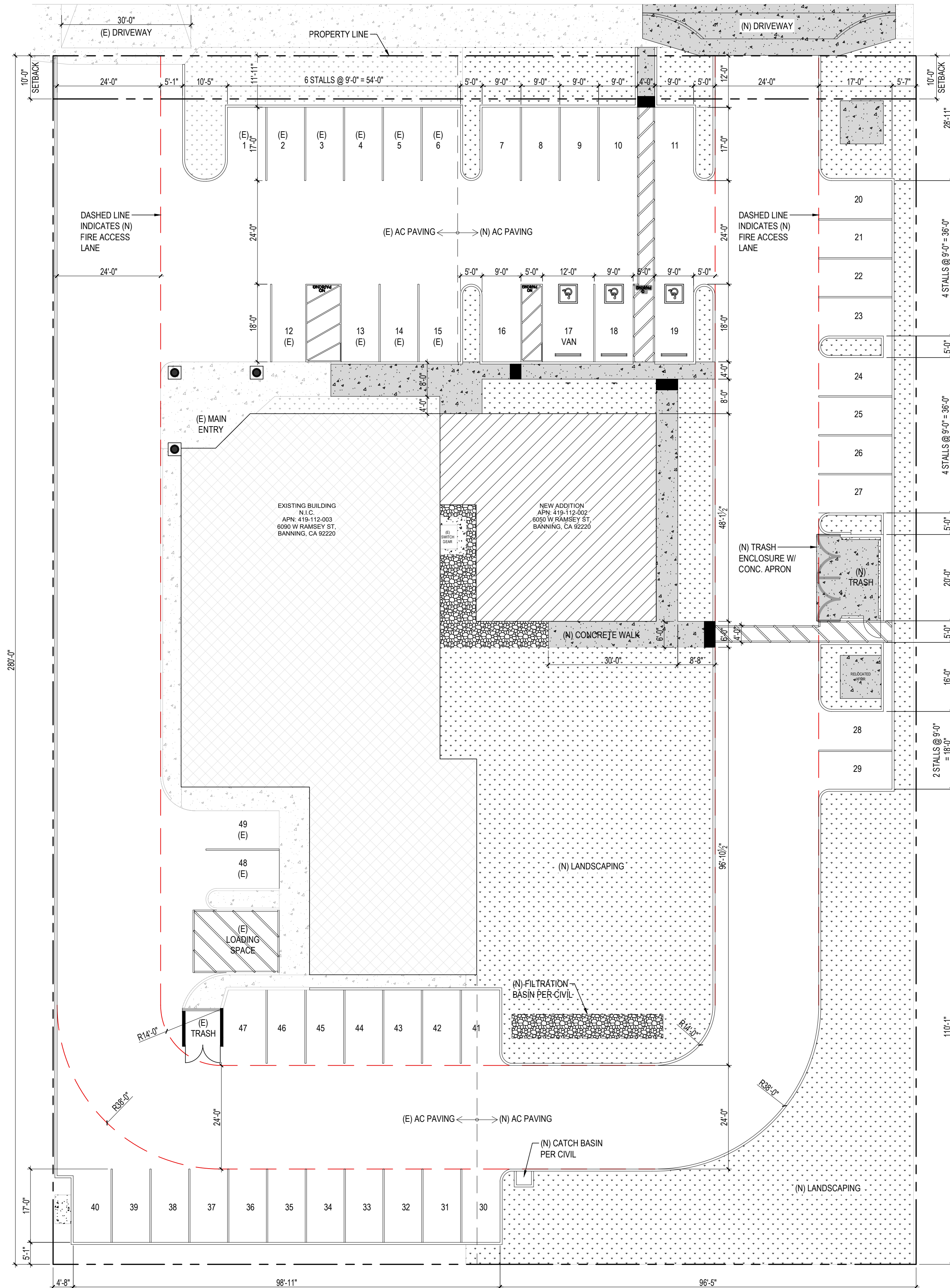


WEST RAMSEY STREET



AREA TABULATIONS

GROSS SITE AREA	
EXISTING SITE AREA	28,000 SF
PROPOSED SITE ADDITION	28,000 SF
TOTAL SITE AREA	56,000 SF
GROSS FLOOR AREA	
EXISTING BUILDING AREA	6,824 SF
PROPOSED ADDITION	1,922 SF
TOTAL BUILDING AREA	8,746 SF
BUILDING COVERAGE	
8,746 SF / 56,000 SF = 16% < 35% = OK	

PARKING TABULATIONS

TOTAL PARKING PER BANNING MUNICIPAL CODE TABLE 17.28.040B	
FIRST 2,000 SF	10 SPACES
REMAINING 6,746 SF / 175	39 SPACES
TOTAL REQUIRED	49 SPACES
TOTAL EXISTING	
TOTAL ADDED	21 SPACES
TOTAL PROVIDED	49 SPACES

ACCESSIBLE PARKING PER 2022 CALIFORNIA BUILDING CODE TABLE 11B-208.2	
TOTAL REQUIRED	2 SPACES
TOTAL PROVIDED	3 SPACES (1 VAN)

PLAN LEGEND

- PROPERTY LINE
- 24'-0" WIDE FIRE ACCESS LANE
- EXISTING BUILDING
- PROPOSED BUILDING ADDITION
- EXISTING LANDSCAPE AREA TO REMAIN
- PROPOSED LANDSCAPE AREA REFER TO LANDSCAPE DRAWINGS
- EXISTING CONCRETE HARDSCAPE TO REMAIN
- PROPOSED CONCRETE HARDSCAPE

PROJECT DATA

SITE ADDRESS:	6090 W. RAMSEY ST, BANNING, CA 92220
ASSESSORS PARCEL NO.:	419-112-002 / 419-112-003
ZONING DESIGNATION:	GENERAL COMMERCIAL (GC)
OVERLAY ZONE:	NONE
SPECIFIC PLAN:	NONE
EXISTING USE:	MEDICAL OFFICE
PROPOSED USE:	MEDICAL OFFICE
FRONT SETBACK:	10' - 0"
REAR SETBACK:	0' - 0"
SIDE SETBACK:	0' - 0"
NUMBER OF STORIES:	1
BUILDING HEIGHT:	17' - 0"
TYPE OF CONSTRUCTION:	VA
SPRINKLERED:	YES
OCCUPANCY TYPE:	B / I-2.1
OCCUPANCY SEPARATION:	2-HOUR

SHEET INDEX

SHEET NO.	SHEET NAME
A1	COVER SHEET & PROPOSED SITE PLAN
A2	PROPOSED FLOOR PLAN
A3	PROPOSED ROOF PLAN
A4	PROPOSED EXTERIOR ELEVATIONS
A5	PROPOSED BUILDING SECTIONS
1 OF 1	PRELIMINARY GRADING PLAN
	CONCEPTUAL LANDSCAPE PLAN

PROJECT DESCRIPTION

TENANT IMPROVEMENTS TO EXISTING MEDICAL OFFICE BUILDING AND 1,922 SF BUILDING EXPANSION ONTO THE ADJACENT VACANT LOT. PROJECT WILL REQUIRE A LOT LINE ADJUSTMENT. SCOPE OF WORK SHALL INCLUDE SITE IMPROVEMENTS.

PROJECT TEAM

OWNER GENESIS KC DEVELOPMENT LLC 2000 16TH STREET DENVER, CO 80202 MARK KINNEY 918-271-8240 MARK.KINNEY@DAVITA.COM	CIVIL ENGINEER W.J. MCKEEVER INC. 31419 OUTER HIGHWAY 10 #2-200 REDLANDS, CA 92373 JOSH HOUGH JHOUGH@WJMCKEEVERINC.COM 909-389-0200 JORGE VASQUEZ JVASQUEZ@WJMCKEEVERINC.COM
ARCHITECT TWINSTEPS ARCHITECTURE 18872 MACARTHUR BLVD #100 IRVINE, CA 92612 ARIELLE COLBY 949-463-1049 ARIELLE@TWINSTEPSARCH.COM	LANDSCAPE ARCHITECT CONCEPTUAL DESIGN & PLANNING COMPANY 3195-C AIRPORT LOOP DRIVE, STUDIO ONE COSTA MESA, CA 92626 VINCENT ROJAS VROJAS@CDPCINC.COM 949-399-0870

GENESIS KC DEVELOPMENT LLC
2000 16TH STREET
DENVER, CO 80202

DAVITA BANNING
CLINIC EXPANSION

FACILITY #02571
6090 W. RAMSEY ST.
BANNING, CA 92220



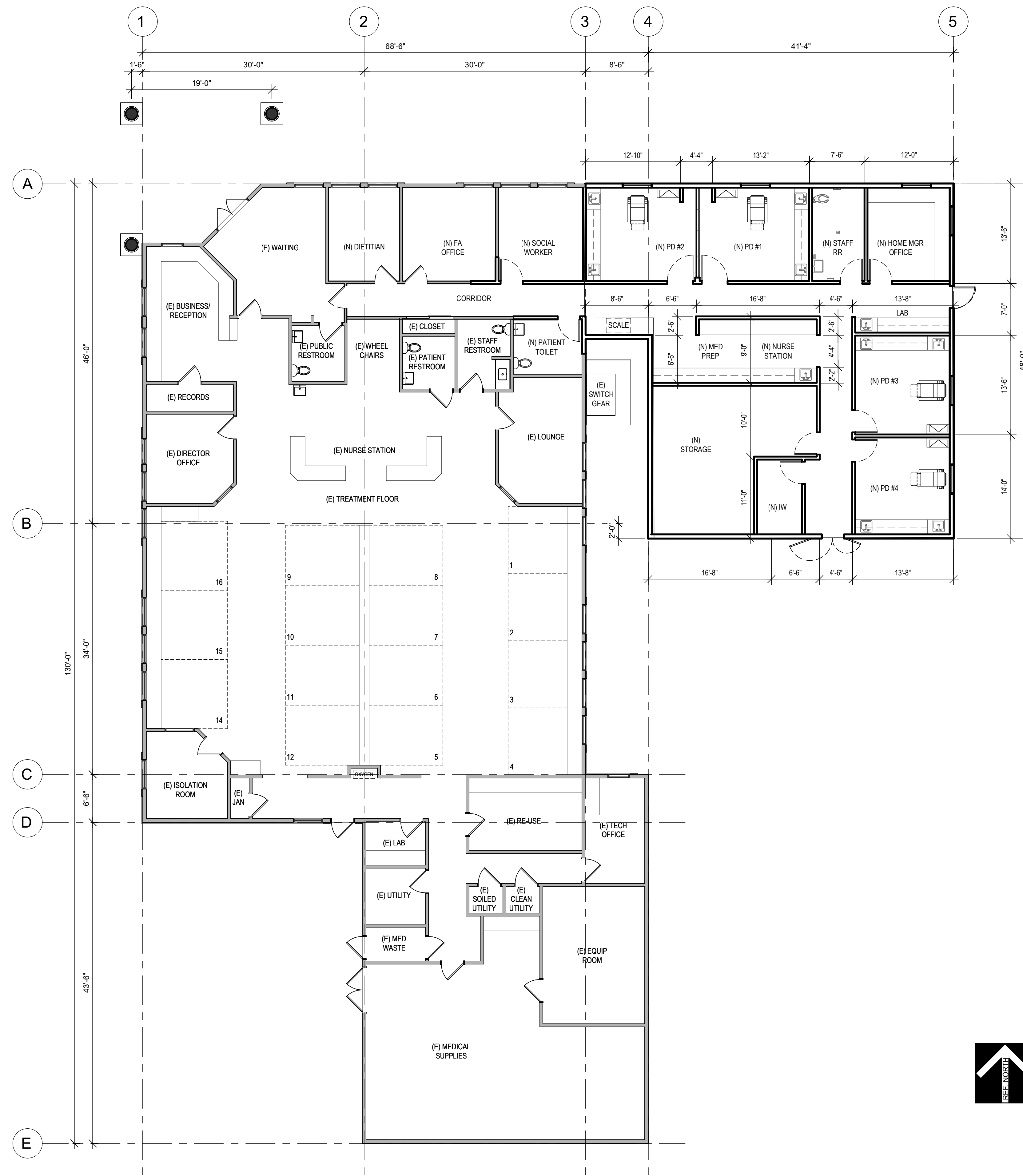
TWINSTEPSARCH.COM
IRVINE OFFICE 949.285.3190 | LOS ANGELES OFFICE 949.285.3199 | SAN JOSE OFFICE 408.340.1990 | SEATTLE OFFICE 206.927.7712

COVER SHEET AND
PROPOSED SITE PLAN

DATE:	05/12/23
SCALE:	1/16" = 1'-0"
JOB NO.:	IRV-22-039
ISSUED FOR:	CUP / DESIGN REVIEW SUBMITTAL

A1

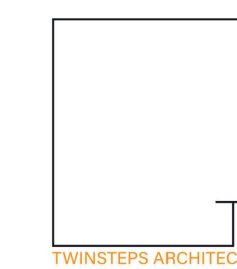
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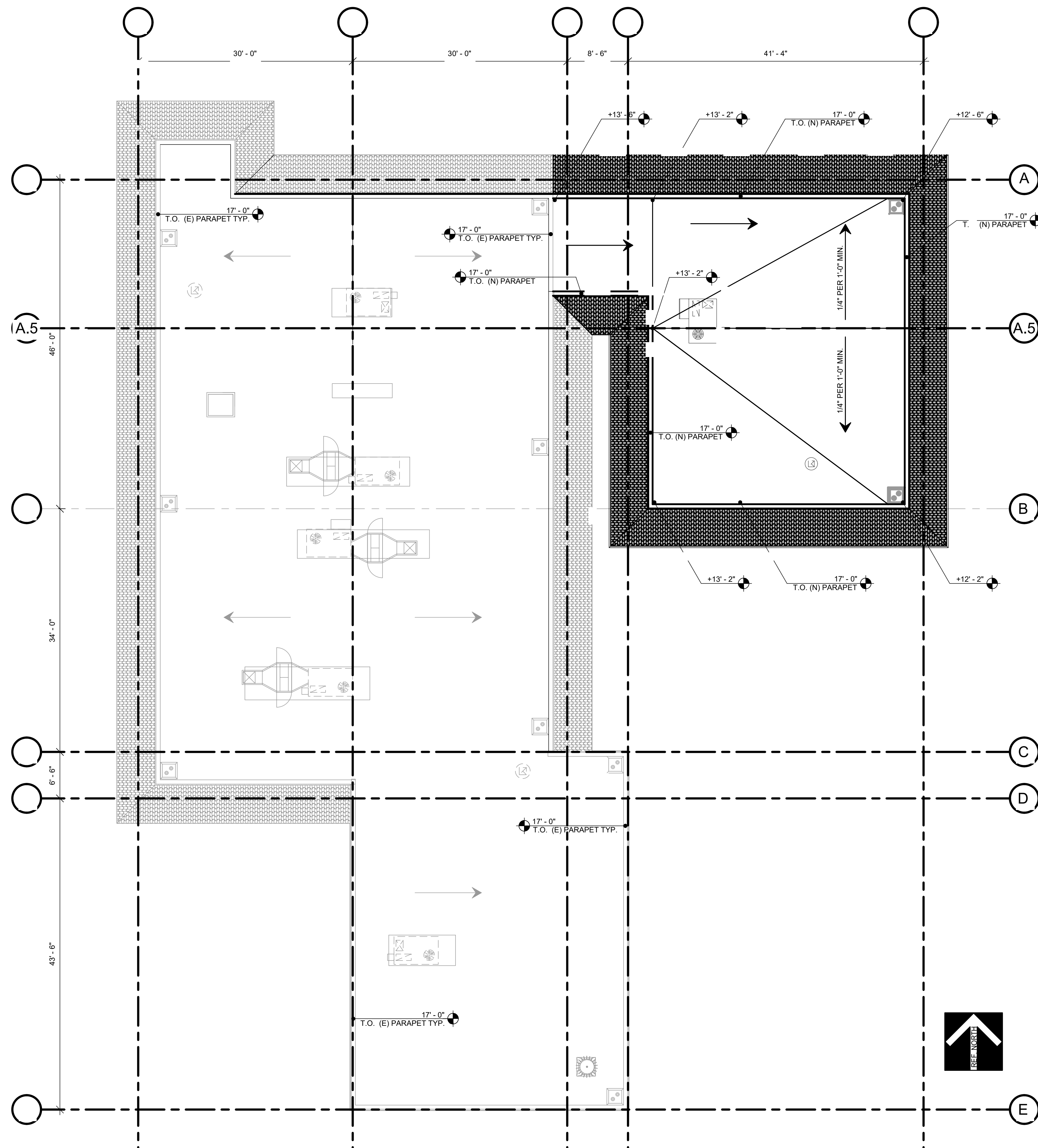


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PROPOSED FLOOR PLAN

DATE: 05/12/23
SCALE: 1/8" = 1'-0"
JOB NO.: IRV-22-039
ISSUED FOR: CUP / DESIGN REVIEW SUBMITTAL

A2



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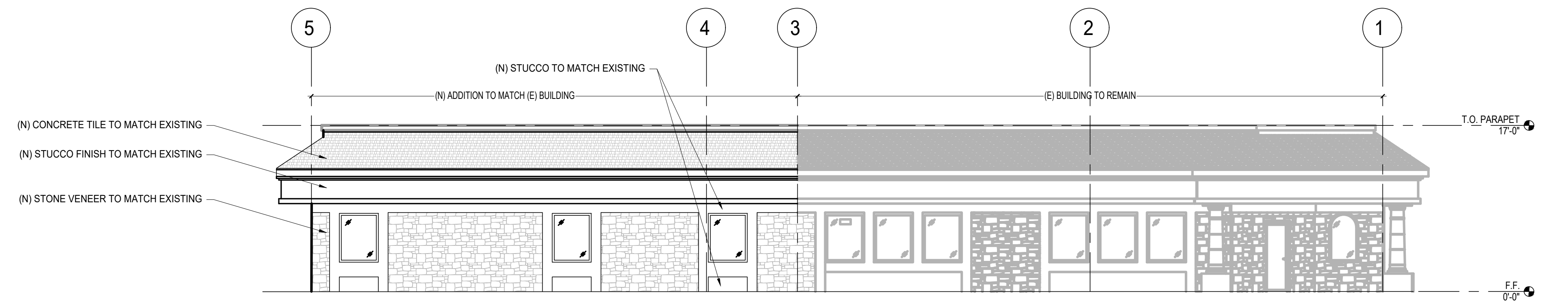


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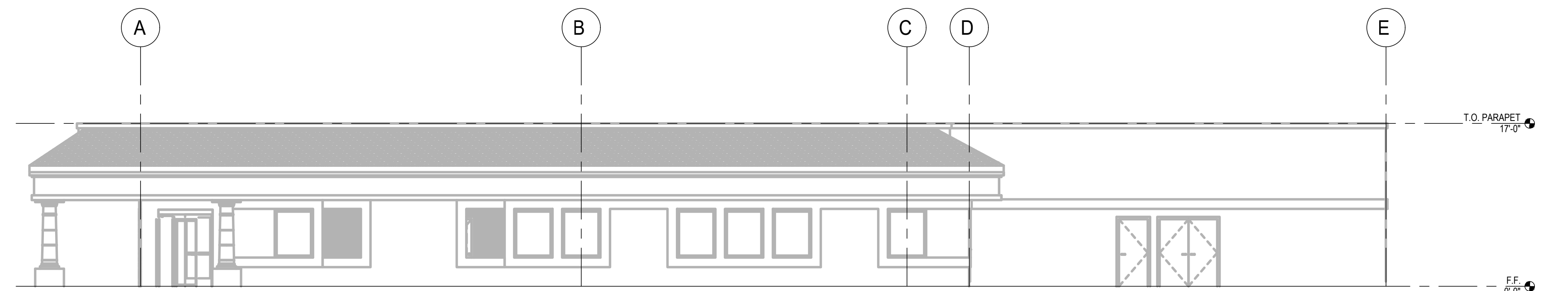
PROPOSED ROOF PLAN

DATE:	05/12/23
SCALE:	1/8" = 1'-0"
JOB NO.:	IRV-22-039
ISSUED FOR:	CUP / DESIGN REVIEW SUBMITTAL

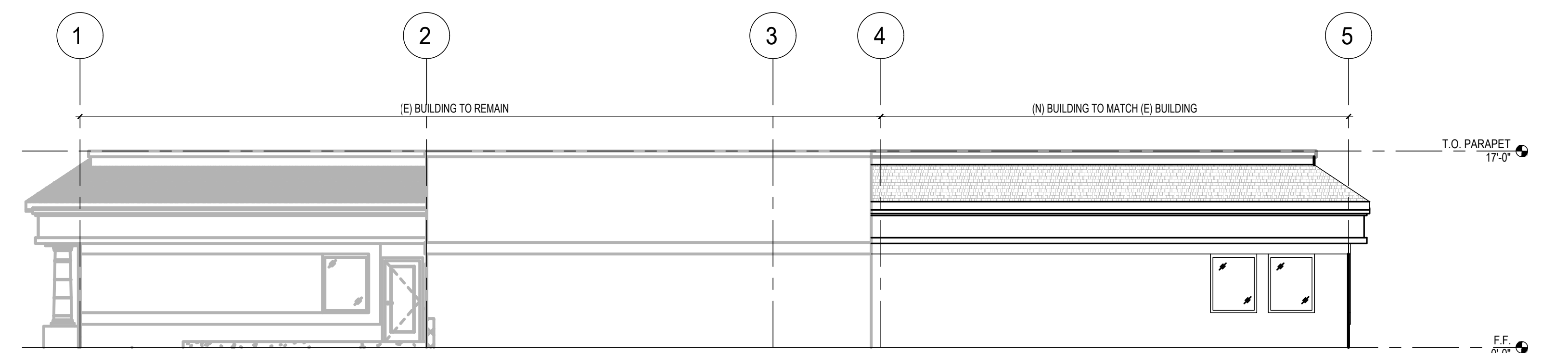
A3



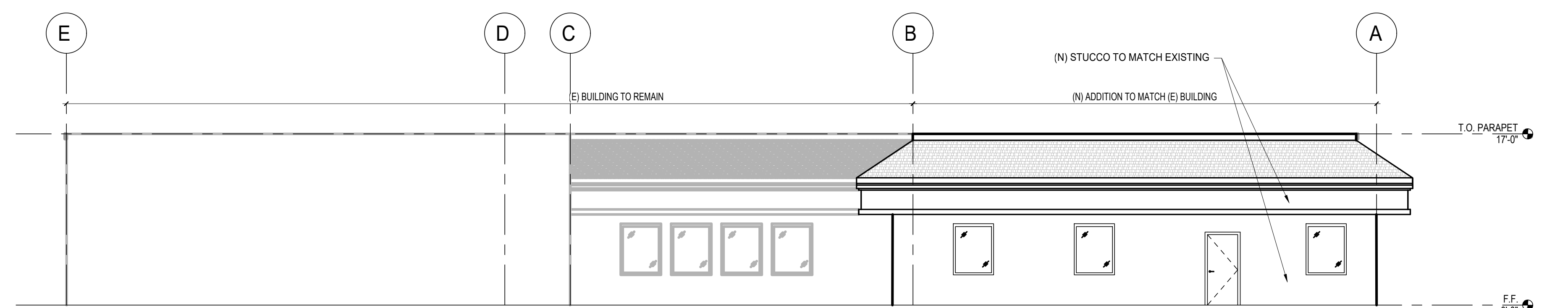
NORTH (FRONT) ELEVATION



WEST ELEVATION



SOUTH ELEVATION

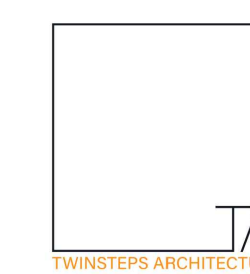


EAST ELEVATION

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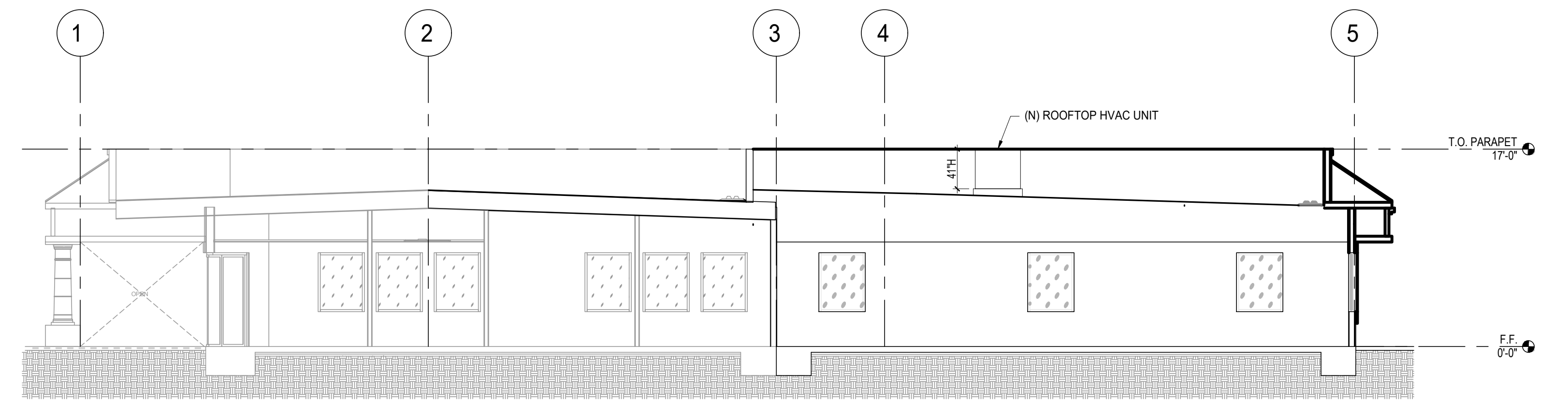


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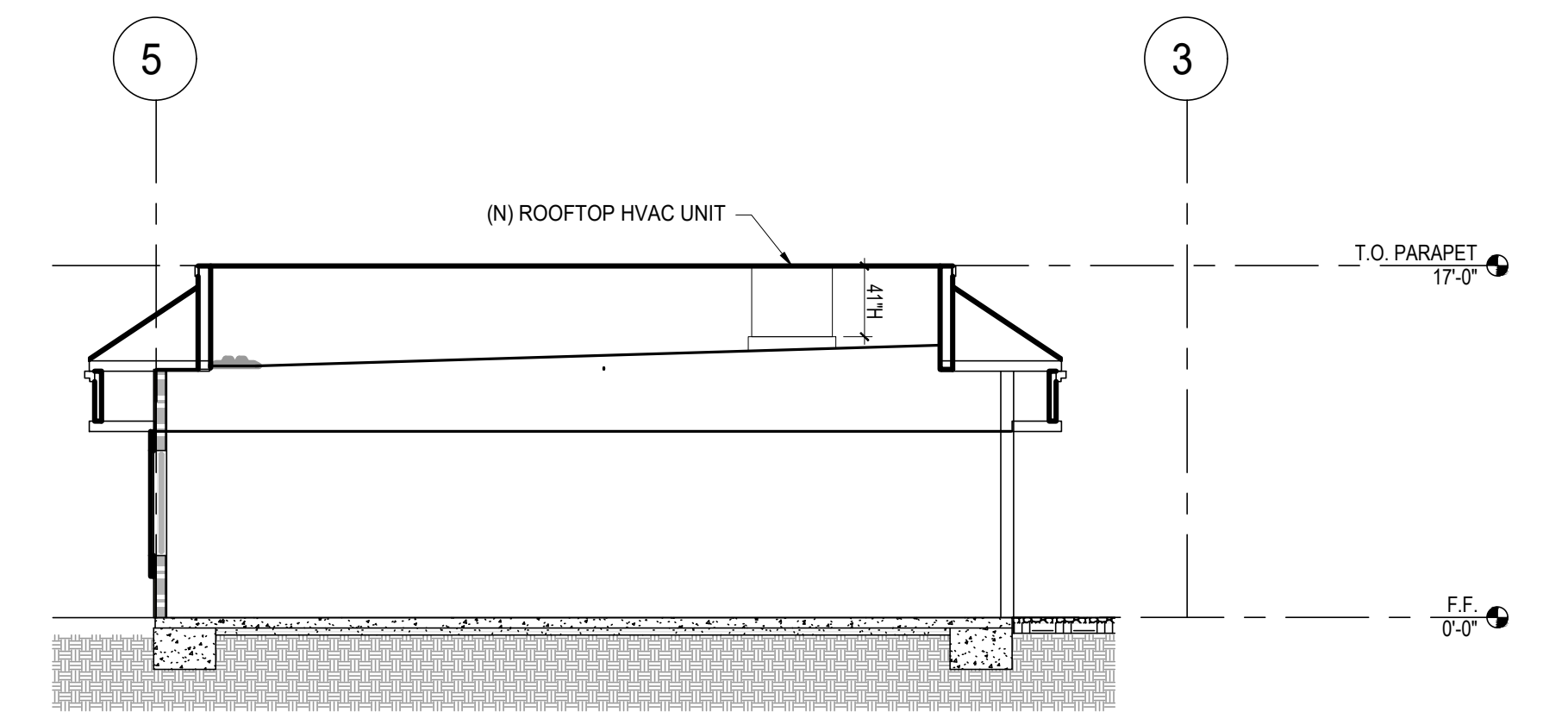
PROPOSED EXTERIOR ELEVATIONS

DATE: 05/12/23
SCALE: 1/8" = 1'-0"
JOB NO.: IRV-22-039
ISSUED FOR: CUP / DESIGN REVIEW SUBMITTAL

A4



BUILDING SECTION

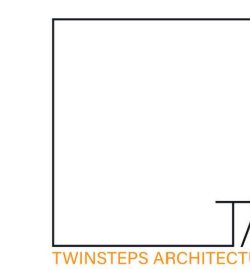


BUILDING SECTION

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 DENVER, CO 80202

**DAVITA BANNING
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PROPOSED BUILDING SECTIONS

DATE:	05/12/23
SCALE:	1/8" = 1'-0"
JOB NO.:	IRV-22-039
ISSUED FOR:	CUP / DESIGN REVIEW SUBMITTAL

A5