

Attachment 3

Buellton Hub

Industrial Way, Buellton, CA 93427

GENERAL NOTES

- ARCHITECT MAKES NO WARRANTY, EITHER EXPRESS OR IMPLIED, AS TO HIS FINDINGS, RECOMMENDATIONS, SPECIFICATIONS, OR PROFESSIONAL ADVICE OR SERVICES EXCEPT THAT THEY WERE PROMULGATED OR RENDERED IN ACCORDANCE WITH GENERALLY ACCEPTED ARCHITECTURAL PRACTICES AND UNDER THE DIRECTION OF PROFESSIONAL REGISTERED ARCHITECTS. AS FURNISHING OF SERVICES, THE ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE NOT 100% COMPLETE OF THEMSELVES, AND ARCHITECTS CONTINUED SERVICES AND CONSTRUCTION ADMINISTRATION/OBSERVATION ARE REQUIRED FOR COMPLETE INTERPRETATION AND APPLICATION TO A SPECIFIC PROJECT. OWNER AND CONTRACTOR HEREBY ACKNOWLEDGE USE OF THE DRAWINGS AND/OR SPECIFICATIONS WITHOUT ARCHITECT'S INVOLVEMENT IN CONSTRUCTION ADMINISTRATION/OBSERVATION, AND PRIOR APPROVAL OF ALL CHANGES AND/OR MODIFICATIONS SHALL THEREBY RELIEVE ARCHITECT OF ALL LIABILITY ASSOCIATED WITH CHANGES OR MODIFICATIONS TO THE PROJECT MADE DURING THE CONSTRUCTION PROCESS. OWNER AND CONTRACTOR HEREBY FURTHER WARRANTS THAT ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR THE SUBSEQUENT USE OF THE DRAWINGS AND/OR SPECIFICATIONS OR ADVICE OF OTHERS DURING CONSTRUCTION WORK WHICH WAS NOT PERFORMED UNDER ARCHITECT'S SCOPE OF ADMINISTRATIVE SERVICES.
- INTERPRETATION OF DRAWINGS AND DOCUMENTS: EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE BEFORE EXECUTING ANY WORK AND SHALL NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING. THE ARCHITECT SHALL BE NOTIFIED OF ANY UNUSUAL OR UNFORESEEN CONDITIONS OR SITUATIONS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OR SAFETY OF THE PROJECT.
- ADHERENCE TO PLANS: STRICT ADHERENCE TO THE CONSTRUCTION DOCUMENTS MUST BE MAINTAINED. NO CHANGES SHALL BE MADE IN THE PROJECT WHICH DEVIATE FROM THE PLANS AND SPECIFICATIONS WITHOUT THE WRITTEN CONSENT OF THE OWNER. NO STRUCTURAL CHANGES SHALL BE MADE WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- WORKING DRAWINGS: REQUIRED DIMENSIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN PREFERENCE TO SCALE AND SUBSCALE. IN CASE OF ANY DOUBT ON THE PART OF THE CONTRACTOR AS TO THE EXACT MEANING OF THE DRAWINGS AND THESE SPECIFICATIONS, HE SHALL APPLY TO THE ARCHITECT FOR AN INTERPRETATION BEFORE PROCEEDING WITH HIS WORK.
- SHOP DRAWINGS: CONTRACTOR SHALL SUBMIT COPIES OF ALL SHOP DRAWINGS FOR REVIEW BY ARCHITECT PRIOR TO CONTRACTOR'S APPROVAL FOR CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING REQUIRED TO PROTECT PERSONS AND ADJACENT PROPERTY AND TO INSURE SAFETY OF THE PROJECT WORK. WHEREVER IN THESE DRAWINGS ANY MATERIAL OR PROCESS IS INDICATED, IT IS FOR THE PURPOSE OF FACILITATING DESCRIPTION OF THE MATERIAL OR PROCESS DESIRED. THE CONTRACTOR MAY OFFER ANY MATERIAL OR PROCESS WHICH SHALL BE DENIED TO THE CONTRACTOR BY THE ARCHITECT TO THAT MATERIAL OR PROCESS INDICATED OR SPECIFIED. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS SHALL BE NEW AND BOTH WORKMANSHIP AND MATERIALS SHALL BE THE BEST OF THEIR RESPECTIVE KINDS. THE CONTRACTOR SHALL, IF REQUIRED, FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS.
- IT SHALL BE THE DUTY OF THE GENERAL CONTRACTOR TO SEE THAT ALL SUB-CONTRACTORS ARE FULLY INFORMED IN REGARD TO THE GENERAL CONDITIONS AND PRELIMINARY SPECIFICATIONS.
- PERMITS AND REGULATIONS
 - EACH CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS REQUIRED BY LOCAL AUTHORITIES BEFORE PROCEEDING WITH HIS RESPECTIVE INSTALLATION AND SHALL ARRANGE AND PAY FOR ANY INSPECTIONS AND EXAMINATIONS REQUIRED BY THOSE AUTHORITIES.
 - ALL PROGRAMS AND MATERIALS SHALL CONFORM TO THE CURRENT EDITION OF THE UNIFORM BUILDING CODE AND LAWS, ORDINANCES AND REGULATIONS OF ALL GOVERNMENTAL BODIES WITH JURISDICTION OVER THE PROJECT.
 - IF THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE WITH ANY FEDERAL, STATE AND LOCAL OR MUNICIPAL LAW, ORDINANCE, RULES OR DEPARTMENTAL REGULATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THAT WORK. IF ANY OF THE CONTRACTOR'S WORK SHALL BE DONE CONTRARY THERETO WITHOUT SUCH NOTICE HE SHALL BEAR ALL COST ARISING THEREFROM.
- PROTECTION OF WORK & PROPERTY
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL VIOLATIONS OF CITY ORDINANCES AND STATE LAWS INVOLVED IN THE PERFORMANCE OF HIS WORK. HE SHALL PROVIDE, DURING THE PROGRESS OF HIS WORK, EVERY AND ALL SAFEGUARDS AND PROTECTION AGAINST ACCIDENTS, INJURY AND DAMAGE TO PERSONS AND PROPERTY INCLUDING ADJACENT PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS WORK AND EVERY PART THEREOF, AND FOR ALL MATERIALS, TOOLS, APPLIANCES AND PROPERTY OF EVERY DESCRIPTION USED IN CONNECTION THEREWITH.
 - THE CONTRACTOR ASSUMES ALL RISKS, HAZARDS AND CONDITIONS IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACT, AND EVEN THE PERFORMANCE OF THE CONTRACT INVOLVES A GREATER EXPENDITURE OF MONEY THAN THE CONTRACTOR EXPECTED AT THE TIME OF BIDDING. NO ALLOWANCE WILL BE MADE ON ACCOUNT THEREOF, AND THE CONTRACTOR SHALL CONTINUE WITH AND COMPLETE THE WORK.
- SUPERVISION
 - THE CONTRACTOR SHALL GIVE PERSONAL SUPERVISION TO THE WORK USING HIS BEST SKILL AND ATTENTION, AND SHALL KEEP A COMPETENT FOREMAN AND NECESSARY ASSISTANTS CONSTANTLY ON THE SITE. THE FOREMAN SHALL BE THE PERSONAL REPRESENTATIVE OF THE CONTRACTOR AND ALL DIRECTIONS GIVEN BY HIM SHALL BE AS BINDING AS IF GIVEN BY THE CONTRACTOR. COMMUNICATION DELIVERED TO THE FOREMAN BY THE ARCHITECT SHALL BE AS BINDING AS IF DELIVERED TO THE CONTRACTOR.
- DAMAGES IN THE WORK
 - THE OWNER, WITHOUT ANNULING THE CONTRACT, MAY ALTER BY ADDING TO OR DEDUCTING FROM THE WORK COVERED IN THE CONTRACT. ALL SUCH WORK SHALL BE EXECUTED UNDER THE CONDITIONS OF THE ORIGINAL CONTRACT EXCEPT THAT NO EXTRA WORK OR CHANGES SHALL BE DONE WITHOUT WRITTEN ORDER FROM THE ARCHITECT. SUCH CHANGES SHALL COVER THE ADDED PRICE AND TERMS OF EXTRA WORK OF CHANGES. IF WORK IS TO BE OMITTED, THE PROPER CREDIT FOR SUCH OMITTED WORK SHALL BE GIVEN TO THE OWNER.
- CLEANING BUILDING AND PREMISES
 - PRIOR TO THE COMPLETION OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN THE EXTERIOR AND INTERIOR OF THE BUILDINGS, INCLUDING FIXTURES, EQUIPMENT, FLOORS AND HARDWARE, REMOVING ALL PLASTER SPOTS, STAINS, PAINT SPOTS AND ACCUMULATED DIRT AND DEBRIS. THIS SHALL INCLUDE THOROUGH CLEANING OF ALL ROOFS, WINDOW SILLS AND LEDGES, HORIZONTAL PROJECTIONS, STEPS, RAILS, SIDEWALKS OR OTHER SURFACES WHERE DEBRIS MAY HAVE COLLECTED. WASH AND POLISH ALL GLASS.
- GUARANTEES
 - EXCEPT AS OTHERWISE SPECIFIED, ALL WORK SHALL BE GUARANTEED IN WRITING BY THE CONTRACTOR AGAINST DEFECTS RESULTING FROM DEFECTIVE MATERIALS, POOR WORKMANSHIP OR FAULTY EQUIPMENT, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FILING THE NOTICE OF COMPLETION AND THE ACCEPTANCE OF THE BUILDING BY THE OWNER. IF WITHIN THE GUARANTEE PERIOD CORRECTION OF FAULTY MATERIALS OR WORKMANSHIP IS NECESSARY IN THE OPINION OF THE OWNER, THE CONTRACTOR SHALL PROMPTLY, UPON RECEIPT OF NOTICE FROM THE OWNER AND WITHOUT EXPENSE TO THE OWNER, CORRECT FAULTY MATERIALS OR WORKMANSHIP.
- VENTILATION OF UNDERGROUND UTILITIES IMPROVEMENTS
 - THE GENERAL CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT DRAWING LOCATING AND DESCRIBING ALL UNDERGROUND UTILITIES LOCATED ON THE SITE, INCLUDING BUT NOT LIMITED TO THE FOLLOWING: GAS LINES, WATER LINES, SANITARY SEWERS, TELEPHONE LINES, AND ELECTRIC LINES.
- TRANSPORTATION OF EXCAVATED MATERIAL
 - THE CONTRACTOR SHALL TRANSPORT ALL EXCAVATED MATERIAL NOT REQUIRED FOR RE-COMPACTION TO AN APPROVED LANDFILL SITE OUTSIDE THE COASTAL ZONE. PROVIDE TRIP TICKETS FOR ALL EXCAVATED MATERIAL REMOVED FROM THE PROJECT.

CODE COMPLIANCE

GOVERNING AGENCY:
County of Santa Barbara
120 East Anacapa
SANTA BARBARA, CA 93101

City of Buellton Planning Department
107 W. Hwy 246
BUELLTON, CA 93427

APPLICABLE CODES:

ALL WORK & MATERIAL SHALL BE PERFORMED AND INSTALLED IN COMPLIANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITY. NOTHING IN THESE PLANS IS TO BE CONSIDERED TO PRELUDE WORK NOT CONFORMING TO THESE CODES.

- 2013 CALIFORNIA BUILDING STANDARDS CODE
- 2013 CALIFORNIA INDUSTRIAL CODE
- 2013 CALIFORNIA MECHANICAL CODE
- 2013 CALIFORNIA PLUMBING CODE
- 2013 CALIFORNIA ELECTRICAL CODE
- 2013 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2013 CALIFORNIA ENERGY CODE
- ADA Standards for Accessible Design, 2010 Edition
- SANTA BARBARA COUNTY ORDINANCE # 4871
- SBCC GRADING ORDINANCE # 4766

VICINITY MAP

PROJECT LOCATION



AERIAL SITE PLAN 01
1" = 100'-0"

SHEET INDEX

NO.	DESCRIPTION
001	COVER SHEET / INDEX
G-101	SITE PHOTOS
SURVEY	SURVEY
CIVIL	
C-10	PRELIMINARY UTILITY PLAN
C-20	PRELIMINARY GRADING & DRAINAGE PLAN
C-30	PRELIMINARY SITE SECTIONS
C-40	PROPOSED EASEMENT DRAWING
LANDSCAPE	
L-1	LANDSCAPE PLAN
L-2	LANDSCAPE DETAILS
L-3	IRRIGATION PLAN
L-4	IRRIGATION DETAILS
L-5	OUTDOOR LIGHTING PLAN
ARCHITECTURAL	
A-101	BUSINESS HUB TYPICAL FLOOR PLANS & ELEVATIONS
A-102	BUSINESS HUB TYPICAL SECTIONS
A-103	INDUSTRIAL BUILDINGS & COMMUNITY BUILDING TYPICAL FLOOR PLANS & ELEVATIONS
A-104	RESIDENTIAL BUILDINGS TYPICAL FLOOR PLANS & ELEVATIONS
A-105	TYPICAL ROOF PLANS
A-106	TYPICAL DETAILS
A-107	ENTRY PERSPECTIVE
A-108	AERIAL PERSPECTIVE

SCOPE OF PROJECT

New Mixed-Use Campus on a Vacant Lot consisting of the following:
50 well thoughtfully housing and community center (six and two bedrooms mix)
• 46,676 SF of light industrial
• 20,065 SF of Business Office with 4 rooftop residential units
• New walkways and paths throughout developed open spaces
• 316 parking spaces
• Restoration of Laca Creek

PROJECT INFORMATION

OWNER: Peter Hubner
2640 Junco Way
Sausalito, CA 94965
Agent: Colin Moore
CPDG Inc.
1005 692-6474
govern@cpdginc.com

PROJECT ADDRESS: Industrial Way, Buellton, CA

APN #	ZONING	VACANT	EXISTING USE	PROPOSED USE			
079-420-048	IM			MIXED USE CAMPUS			
FRONT	INTERIOR	REAR	OPEN YARD	MAX. HEIGHT	MAX. FLOOR AREA (S.F.)	MAX. LOT AREA (S.F.)	MAX. GROSS AREA (S.F.)
10'	16'	10'	N/A	42'	277	316	747,201.63 SF

AREA SUMMARY

USE	AREA
BUSINESS AREAS	26,065 SF
COMMON AREAS	2,577 SF
LIGHT INDUSTRIAL	46,676 SF
MULTI-FAMILY RESIDENTIAL	40,021 SF
TOTAL NET	115,339 SF

LANDSCAPE STATISTICS:

TOTAL LANDSCAPE AREA: 445,790 SF
PROTECTED OPEN AREAS (NON-IRRIGATED): 209,640 SF
LANDSCAPE AREA (IRRIGATED): 156,100 SF
OPEN SPACE REQUIRED (250 SF PER UNIT): 13,500 SF (18%)
*OPEN SPACE PROVIDED: 20,266 SF (24.8%)
*INCLUDES PLAY AREAS, PLAZAS, WATER FEATURE, SEATING AREAS, BBQ AREAS, PASSIVE RECREATION AREAS WITHIN THE DEVELOPED AREAS

CIVIL STATISTICS:

AREA OF DISTURBANCE 130 AC +/-
RAW CUT: 5,100 CY
RAW FILL: 17,800 CY
EASEMENT INFORMATION:
44' WIDE PRIVATE HIGHWAY EGRESS AND UTILITY EASEMENT TO PETER HUBNER, TRUSTEES OF THE HUBNER FAMILY TRUST, DATED 05-21-1991 PER INST. NO. 2013-0007463, O.R. AND 100 BUELLTON HUBS WELL DEVELOPMENT, L.L.C. A CALIF. PER INST. NO. 2014-0002904, O.R., INST. NO. 2013-0007463, O.R. STATES THIS EASEMENT TO BE OFFERED TO THE CITY OF BUELLTON AS AN EASEMENT.

PROPOSED EASEMENT GRANTED TO APN 079-420-048 FOR EMERGENCY VEHICULAR ACCESS PURPOSES.
PROPOSED OPEN SPACE/RAIL EASEMENT - EXACT LOCATION TO BE DETERMINED.
PROPOSED PUBLIC TRAIL EASEMENT - EXACT LOCATION TO BE DETERMINED.

PROJECT DIRECTORY

ELECTRICAL ENGINEER:	
JMPE 156 West Alamo Avenue, Suite 3 Santa Barbara, CA 93105	John Maloney Ph: 805.569.9216 maloney@jmape.net
LAND PLANNER:	
Zelinsky and Associates	Howard Zelinsky 714.742.6548 howards@zelelky.com
ENVIRONMENTAL:	
Dudek 621 Chappala St. Santa Barbara, CA 93101	John Davis Ph: 805.943.0431 jdavis@dudek.com
LANDSCAPE ARCHITECT:	
Eastmanor Studio 225 W. Figueroa St. Santa Barbara, CA 93101	Robert Adams Ph: 805.722.2144 rob@eastmanor.com
CIVIL ENGINEER:	
RM Design 10 East Figueroa St., Ste. 1 Santa Barbara, CA 93101	Mico Hamilton, PE, QSDP Ph: 805.983.5217 micham@rmdesign.com
ARCHITECT:	
DMHA Architecture & Interiors 1 N. Calle Cesar Chavez #102 Santa Barbara, CA 93108	Edward DeVoe/De CPHC AIA Ph: 805.965.7777 ed@dmha.com



805.965.7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93108



NOT FOR CONSTRUCTION

Buellton Hub

Industrial Way
Buellton, CA 93427

PROJECT #: 14C105

NO.	DESCRIPTION	DATE
	Coordination	11/20/2016
	Planning Submittal	12/16/2016
	Planning Revisions	04/01/2017



Attachment 3



NORTHWEST



WEST FROM EAST



EAST FROM SOUTH



NORTHEAST



NORTH



EAST FROM NORTH



SOUTH



SOUTH



805.885.7777
1 N. Celia Cesar Chavez #102
Santa Barbara CA 93103



All photographs were taken on a clear day. All photographs were taken on a clear day. All photographs were taken on a clear day.

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Buellton Hub

Industrial Way
Buellton, CA 93427
PROJECT #: 16C105

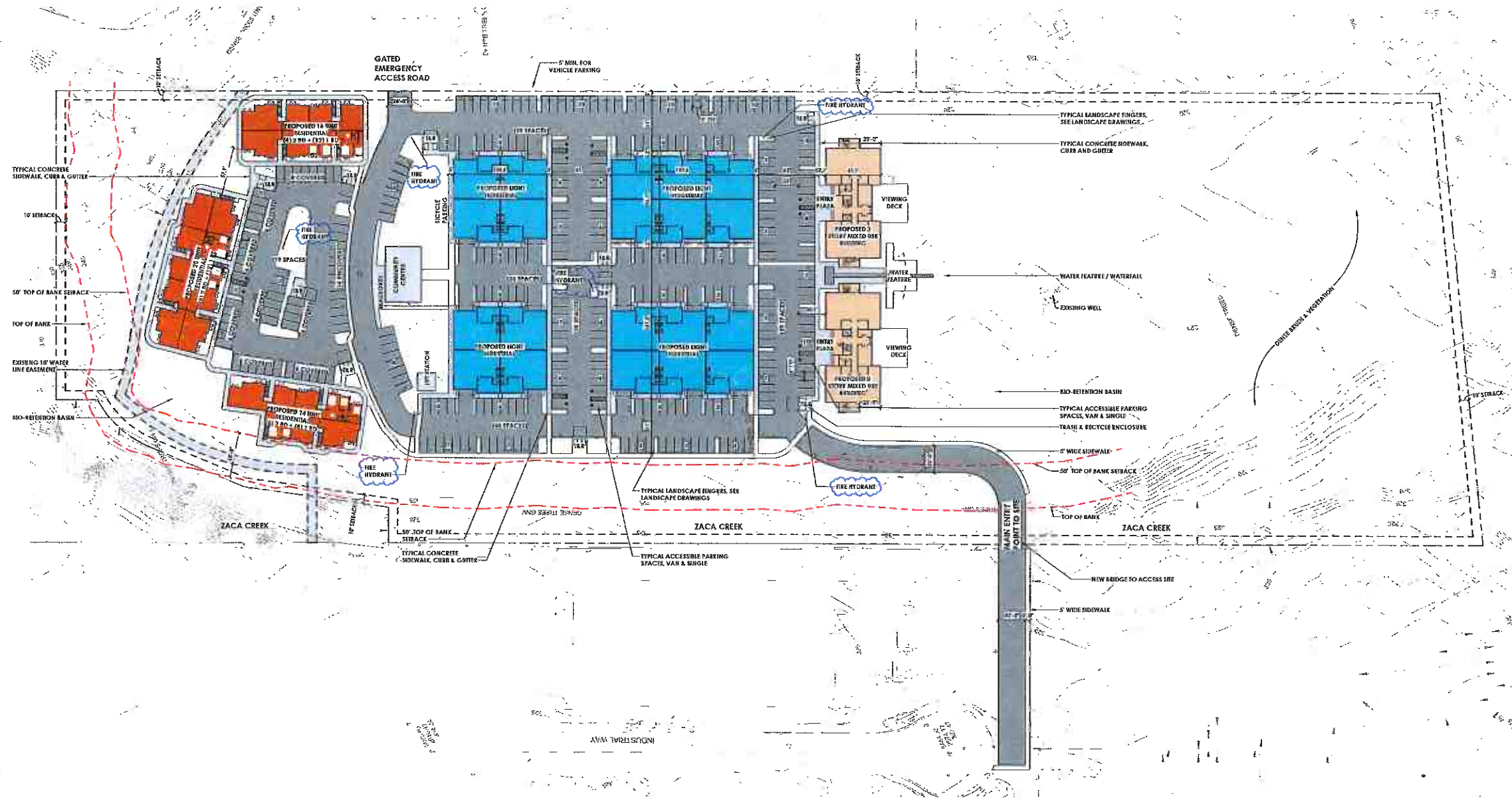
NO.	DESCRIPTION	DATE
1	Coordination	11/30/2016
2	Planning Submittal	12/16/2016
3	Planning Resubmittal	06/29/2017



Attachment 3



805.965.7777
1 N Calle Cesar Chavez #102
Santa Barbara, CA 93103



NOT FOR CONSTRUCTION

01
SITE PLAN
1" = 80'-0"

USE	AREA
BUSINESS AREAS	28,854 SF
COMMON AREAS	2,377 SF
HIGH INDUSTRIAL	46,876 SF
MULTI-FAMILY RESIDENTIAL	49,051 SF
TOTAL NET	127,158 SF

BUILDING	USE	AREA	PARKING
HUB	BUSINESS AREA	28,854 SF	93.8
TOTAL		28,854 SF	93.8

BUILDING	USE	AREA	PARKING
COMMUNITY	COMMUNITY CENTER	2,377 SF	0.0
TOTAL		2,377 SF	0.0

BUILDING	USE	AREA	PARKING
INDUSTRIAL	HIGH INDUSTRIAL	46,876 SF	93.4
TOTAL		46,876 SF	93.4

BUILDING	USE	AREA	UNITS
RESIDENTIAL	1 BEDROOM UNIT	23,575 SF	27
RESIDENTIAL	2 BEDROOM UNIT	18,142 SF	18
TOTAL		41,717 SF	45

TOTAL PARKING REQUIRED = 277
PROVIDED = 316

Buellton Hub
Industrial Way
Buellton, CA 93427
PROJECT #: 14C105

NO.	DESCRIPTION	DATE
1	Coordination	11/30/2014
2	Planning Submittal	12/16/2016
3	Planning Resubmittal	04/02/2017



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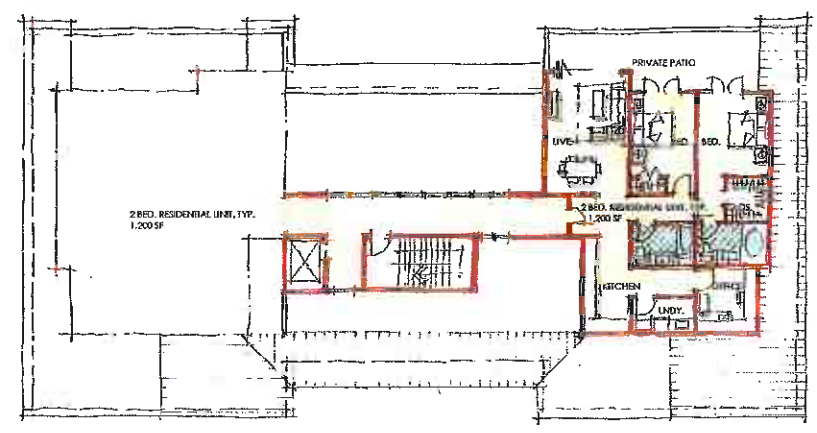
Attachment 3



805.865.7777
1 N Calle Cesar Chavez #102
Santa Barbara, CA 93103



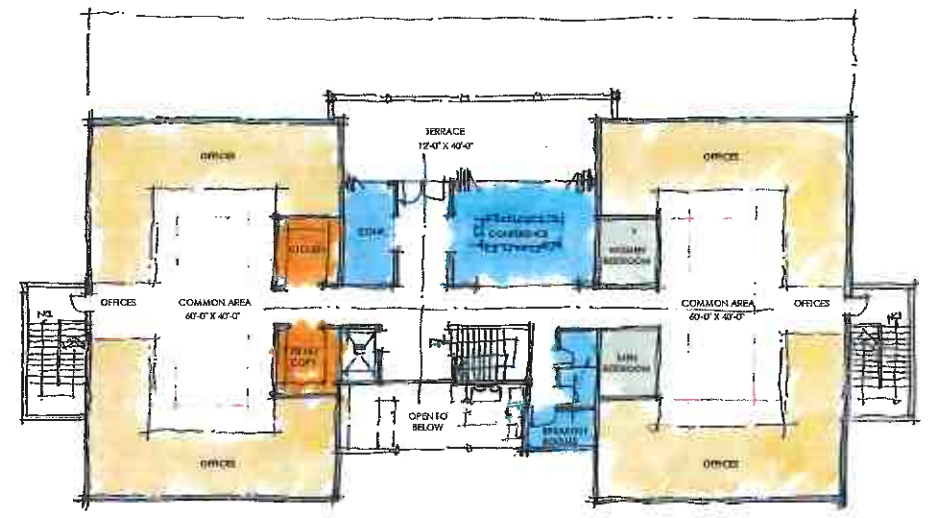
HUB FRONT ELEVATION 06
3/32" = 1'-0"



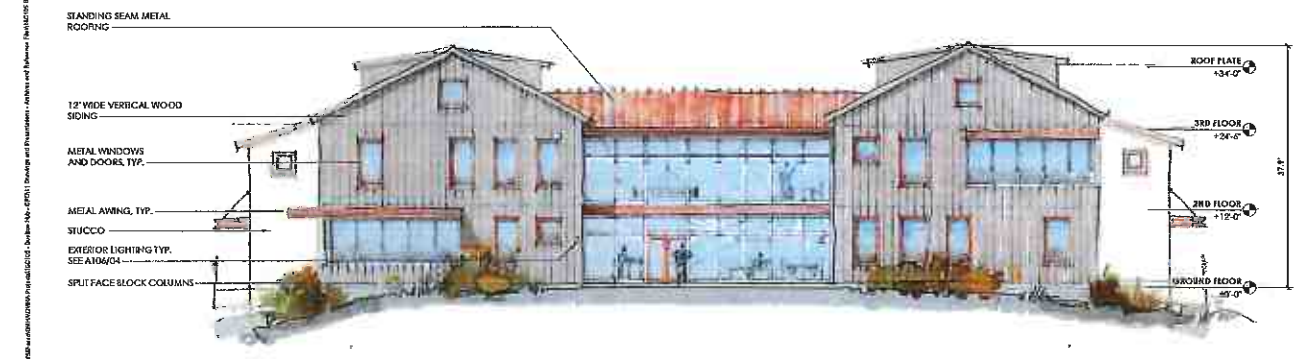
TYPICAL HUB THIRD FLOOR PLAN 03
3/32" = 1'-0"



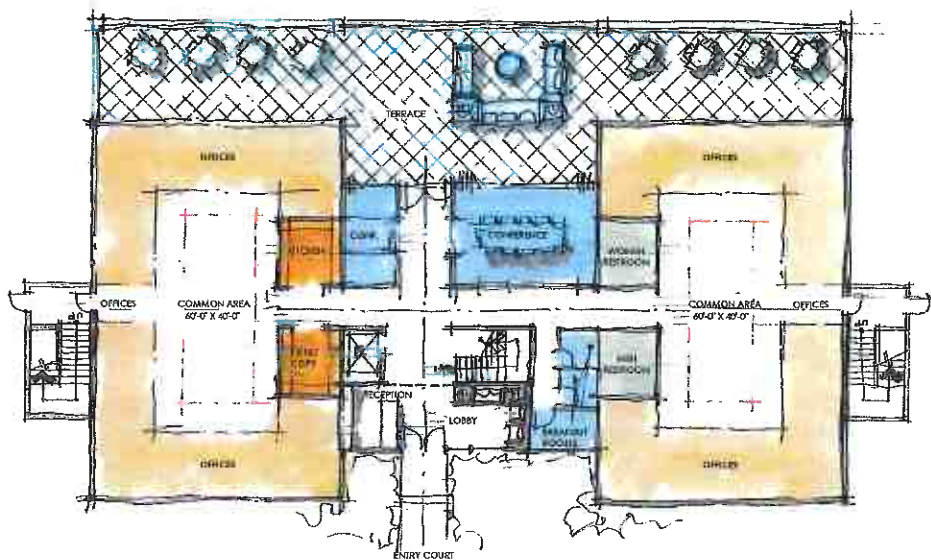
HUB SIDE ELEVATION 05
3/32" = 1'-0"



TYPICAL HUB SECOND FLOOR PLAN 02
3/32" = 1'-0"



HUB REAR ELEVATION 04
3/32" = 1'-0"



TYPICAL HUB FIRST FLOOR PLAN 01
3/32" = 1'-0"

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Buellton Hub

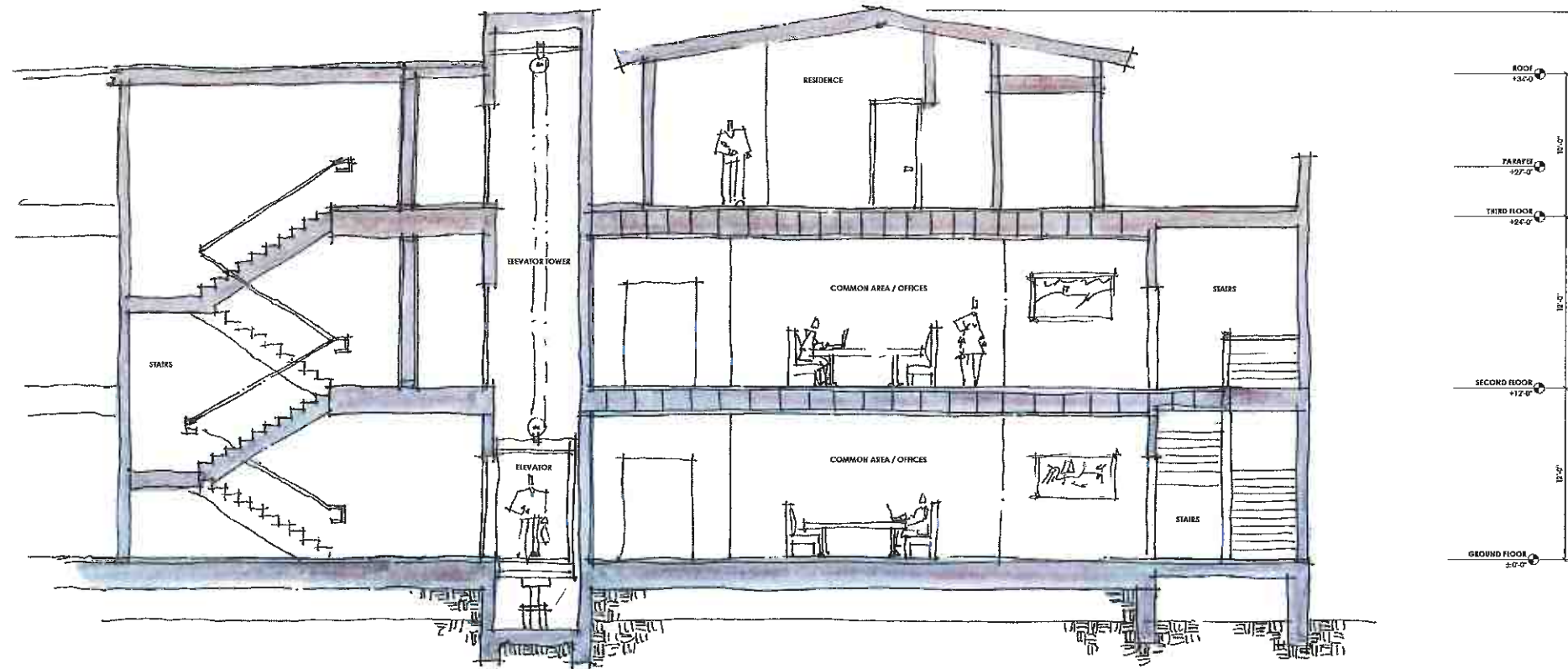
Industrial Way
Buellton, CA 93427

PROJECT #: 14C185

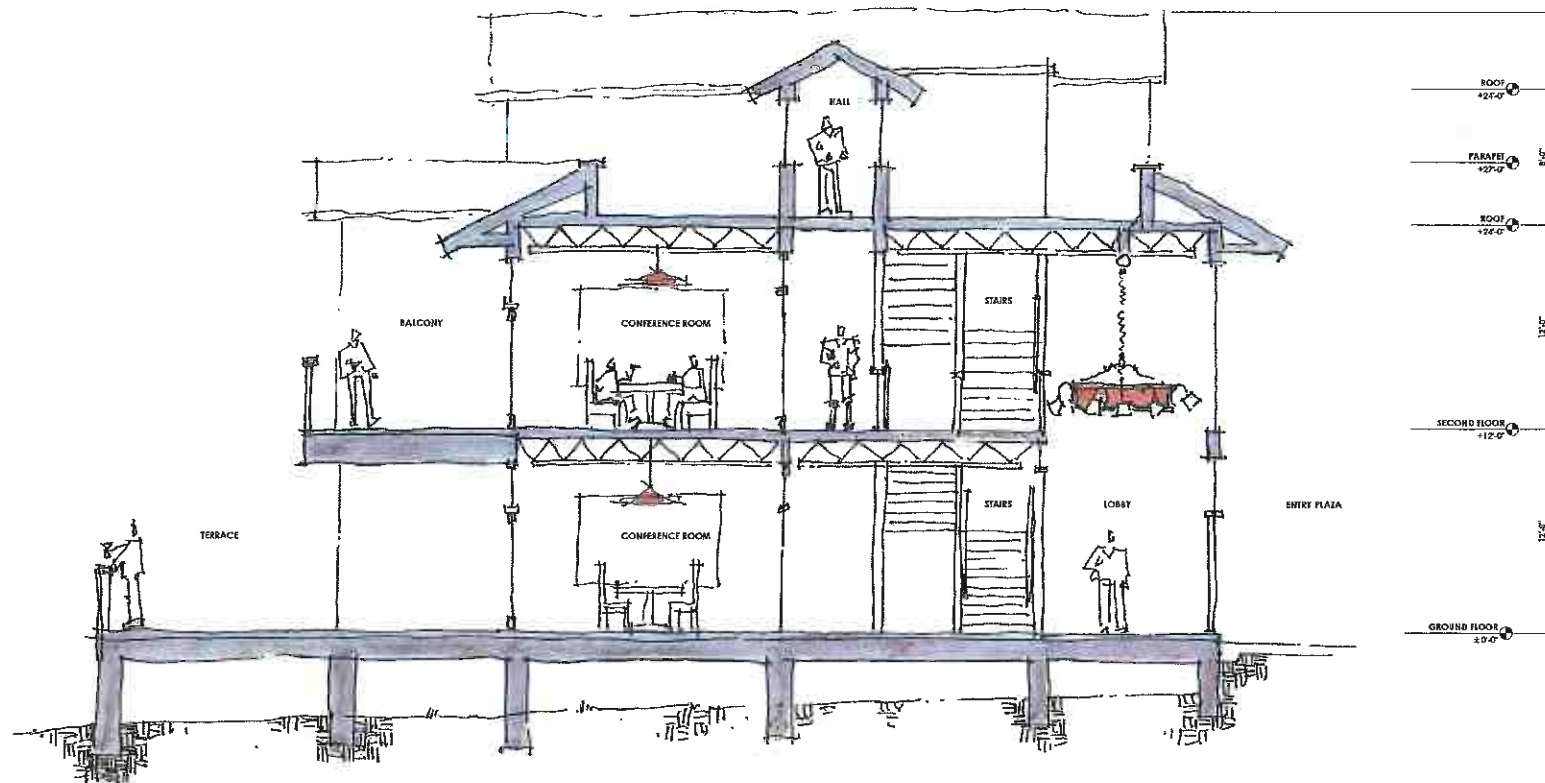
NO.	DESCRIPTION	DATE
1	Coordination	11/06/2016
2	Planning Submittal	12/16/2016
3	Planning Re-submittal	04/09/2017



Attachment 3



TYPICAL HUB LONGITUDINAL SECTION 2
1/4" = 1'-0" 02



TYPICAL HUB LONGITUDINAL SECTION 1
1/4" = 1'-0" 01



D'VICZEWCZ - MILLS HOLLIDAY ASSOCIATES
805.965.7777
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Santa Barbara, CA 93103



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Buellton Hub

Industrial Way
Buellton, CA 93427

PROJECT #: 16C185

NO.	DESCRIPTION	DATE
1	Coordination	11/30/2016
2	Planning Submittal	12/16/2016
3	Planning Resubmittal	06/09/2017

A102

MILLER'S HUB TYPICAL
SECTION

Attachment 3



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1 N. Calle Cesar Chavez #102
Santa Barbara CA 93103



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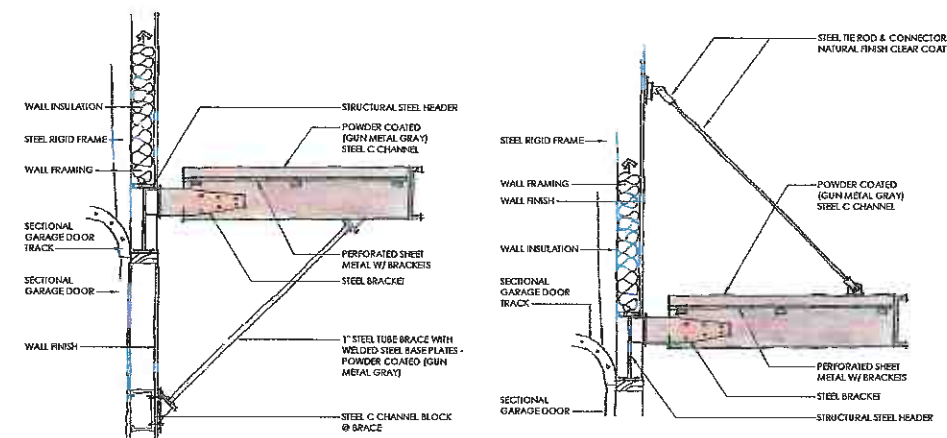
COMMUNITY BUILDING RIGHT ELEVATION 10
1/8" = 1'-0"



COMMUNITY BUILDING FRONT ELEVATION 03
1/8" = 1'-0"



COMMUNITY BUILDING LEFT ELEVATION 08
1/8" = 1'-0"

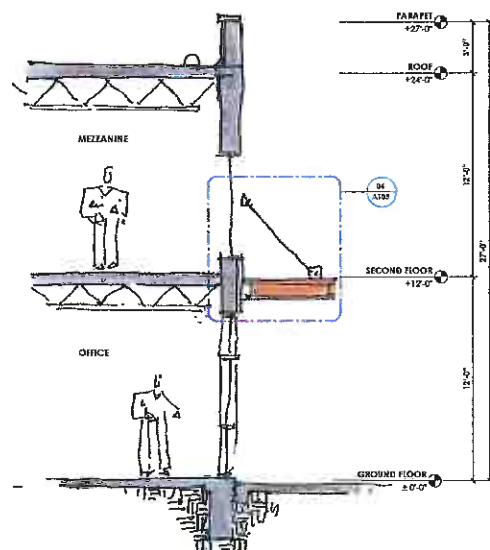


METAL AWNING DETAIL 07
3/8" = 1'-0"

METAL AWNING DETAIL 06
3/8" = 1'-0"



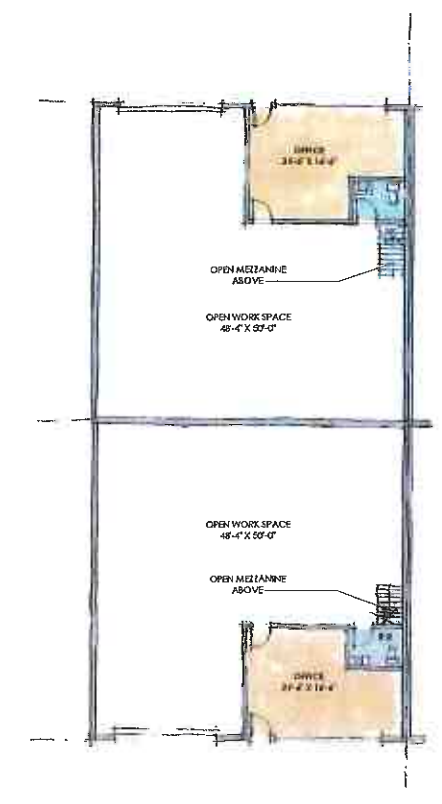
COMMUNITY BUILDING FLOOR PLAN 02
3/32" = 1'-0"



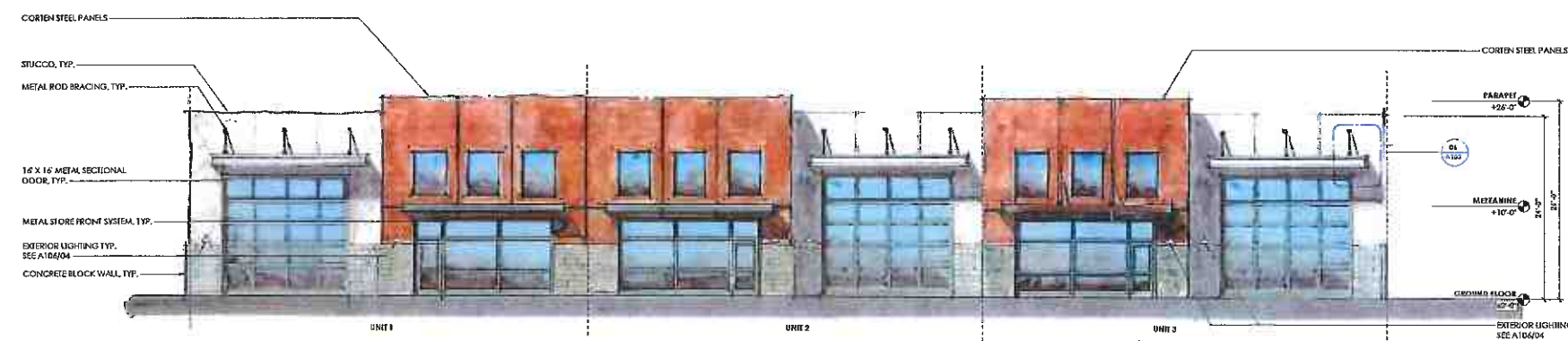
TYPICAL LIGHT INDUSTRIAL WALL SECTION 09
1/4" = 1'-0"



TYPICAL INDUSTRIAL END ELEVATION 05
1/8" = 1'-0"



INDUSTRIAL TYPICAL FLOOR PLAN 01
3/32" = 1'-0"



TYPICAL INDUSTRIAL FRONT ELEVATION 04
1/8" = 1'-0"

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NO.	DESCRIPTION	DATE
1	Coordination	11/30/2016
2	Planning Submittal	12/14/2016
3	Planning Re-submittal	04/29/2017



Attachment 3

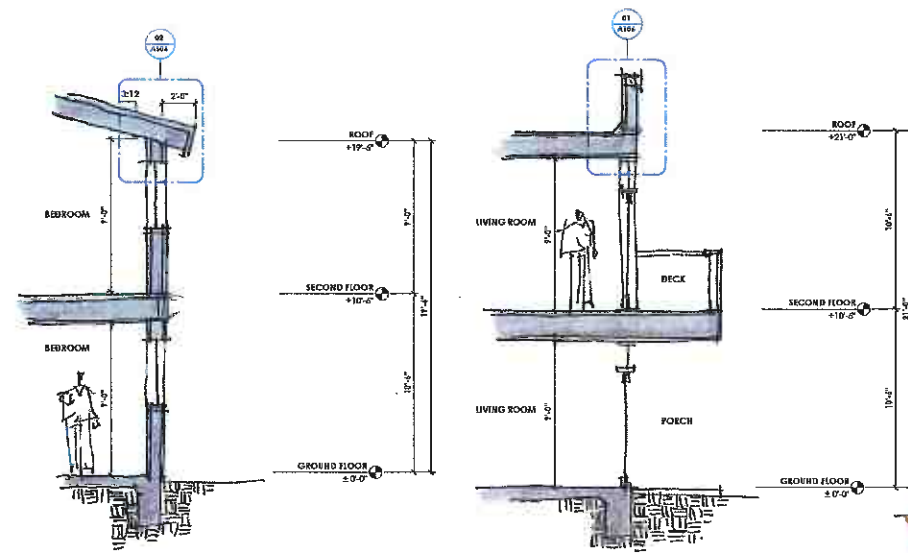


ALTERNATE END UNITS

RESIDENTIAL TYPICAL FRONT ELEVATION
1/8" = 1'-0"

DMHA
DEVICENTE MILLS - HOLLIBAY ASSOCIATES
805.965.7777
1 N Calle Cesar Chavez #102
Santa Barbara CA 93103

REGISTERED ARCHITECT
NO. C. 38291
STATE OF CALIFORNIA

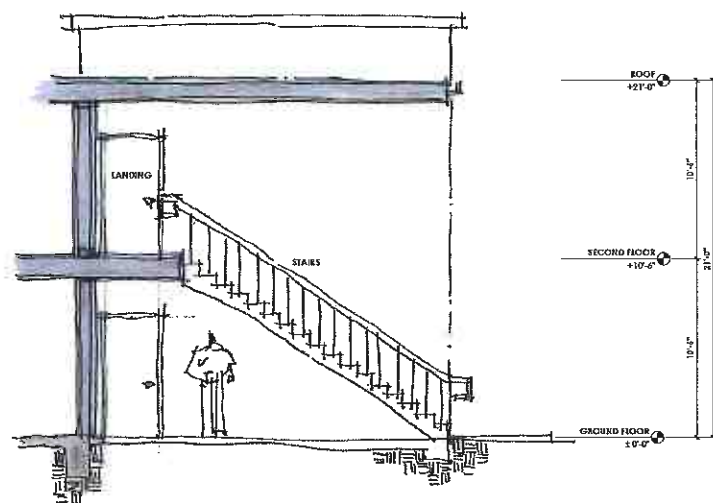


TYPICAL RESIDENTIAL WALL SECTION - SLOPED ROOF
1/4" = 1'-0"

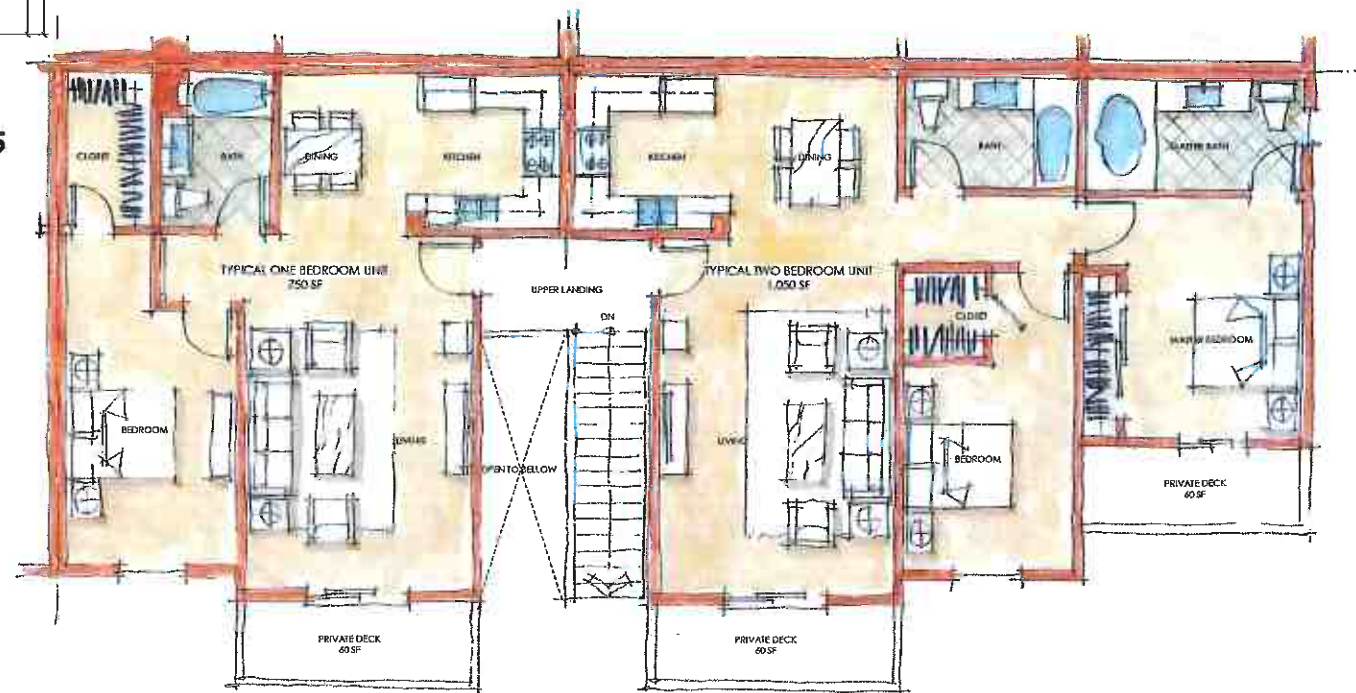
TYPICAL RESIDENTIAL WALL SECTION - FLAT ROOF
1/4" = 1'-0"



RESIDENTIAL TYPICAL END ELEVATION
1/8" = 1'-0"



TYPICAL RESIDENTIAL SECTION
1/4" = 1'-0"



TYPICAL RESIDENTIAL FLOOR PLAN
1/4" = 1'-0"

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Buellton, CA 93427

PROJECT #: 16C105

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3	Planning Re-submittal	06/09/2017

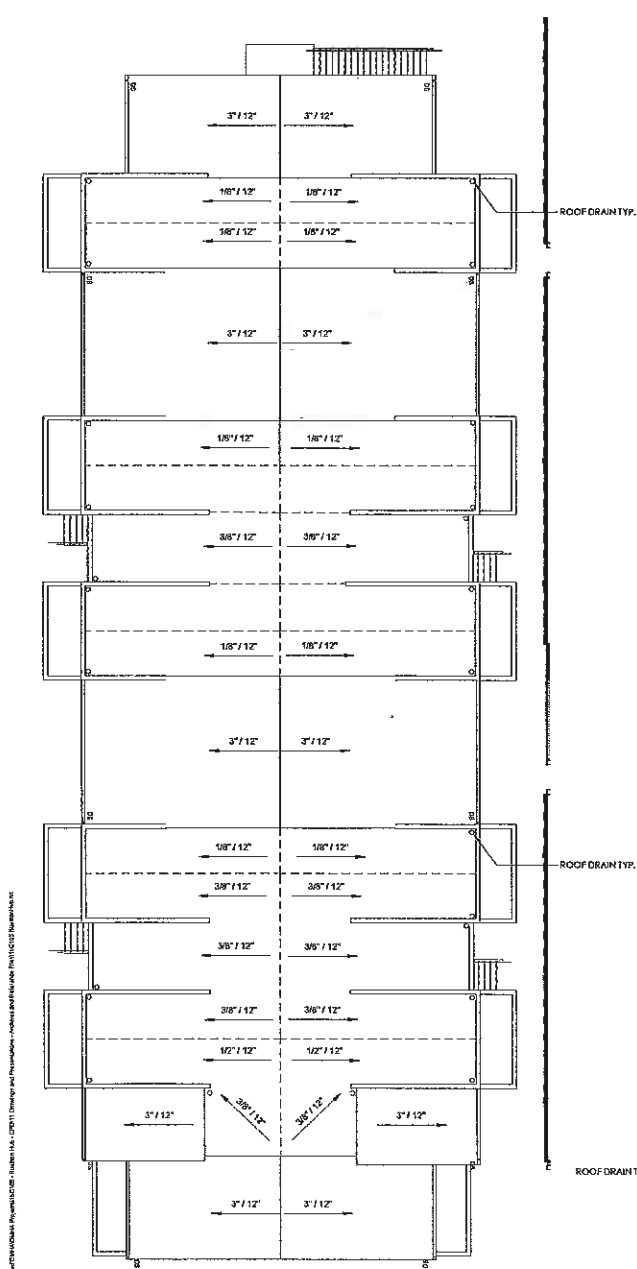
A104
RESIDENTIAL BUILDING TYPICAL
FLOOR PLAN ELEVATION

NOT FOR CONSTRUCTION

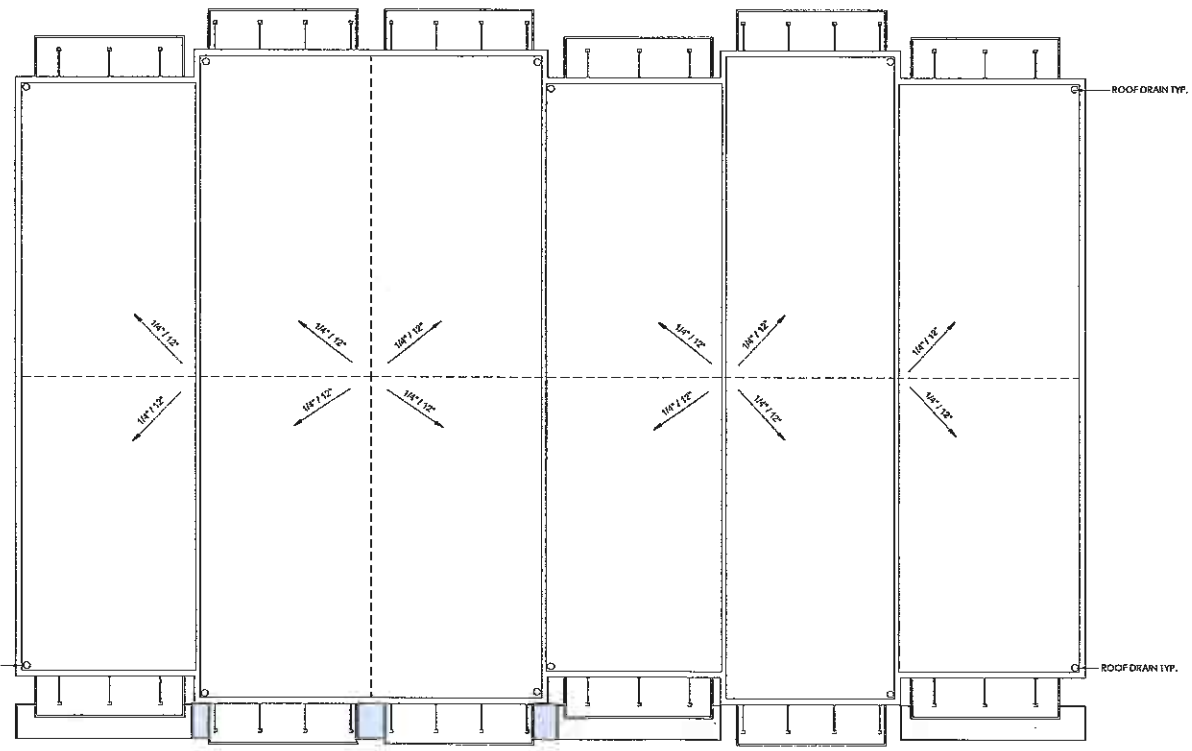
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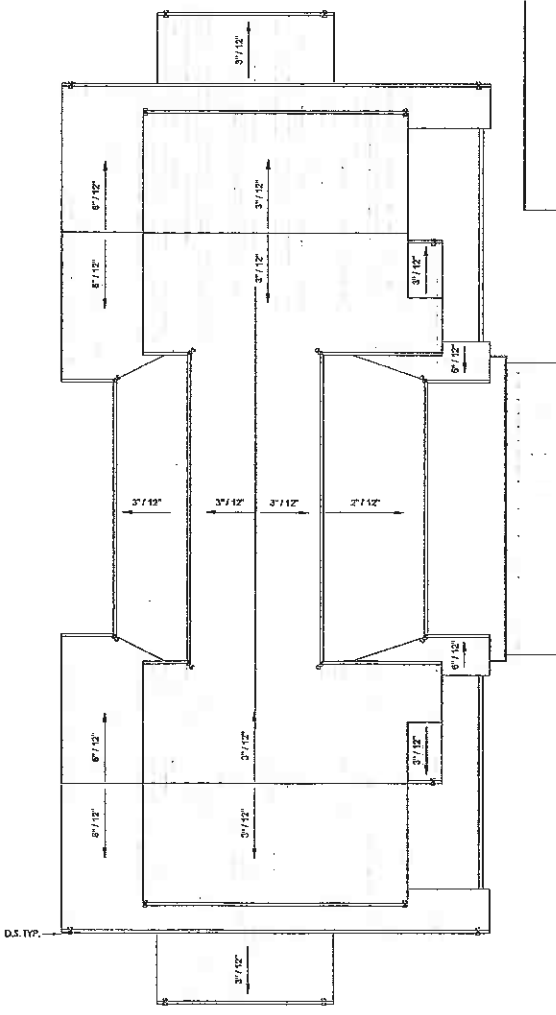
805.865.7777
1 N. Calle Cesar Chavez #102
Santa Barbara, CA 93103



RESIDENTIAL ROOF PLAN 03
1" = 10'-0"



COMMERCIAL ROOF PLAN 02
1" = 10'-0"



HUB ROOF PLAN 01
1" = 10'-0"

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Attachment 3



DEVICENTE - MILLS - HOLLIDAY ASSOCIATES
805.965.7777
1 N. Cello Cesar Chavez #102
Santa Barbara CA 93103



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Industrial Way
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	Planning Re-submittal	04/29/2017

A107

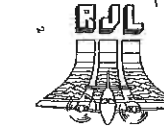
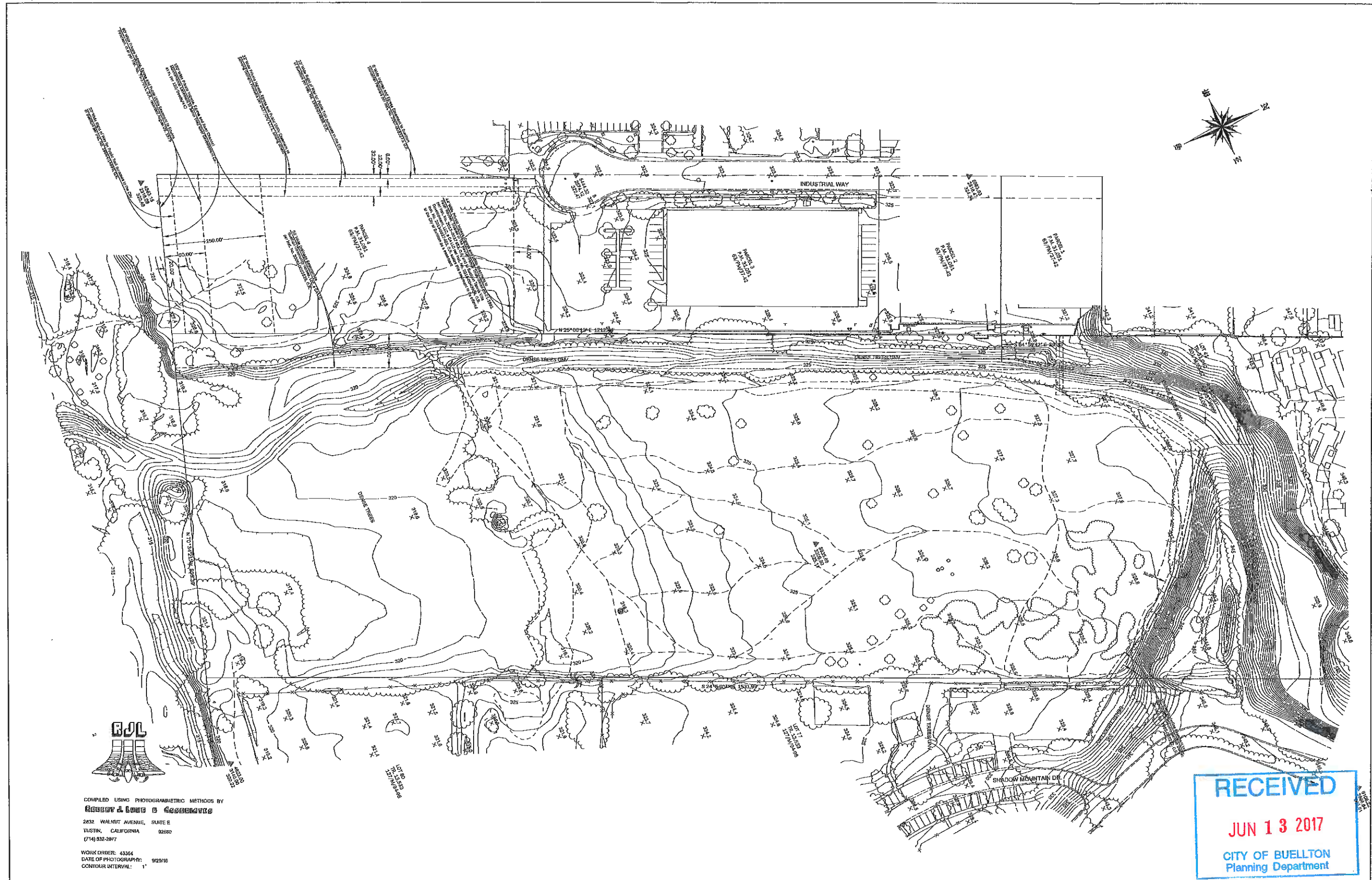
PANTRY PERSPECTIVE



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10/17/2017 10:48 AM - 10/17/2017 10:48 AM - 10/17/2017 10:48 AM - 10/17/2017 10:48 AM - 10/17/2017 10:48 AM

Attachment 3



COMPILED USING PHOTOGRAMMETRIC METHODS BY
ROBERT J. BLAKE & ASSOCIATES
 2832 WALNUT AVENUE, SUITE E
 LUSTIN, CALIFORNIA 92680
 (714) 932-2077
 WORK ORDER: 43364
 DATE OF PHOTOGRAPHY: 9/29/16
 CONTOUR INTERVAL: 1'

RECEIVED
JUN 13 2017
 CITY OF BUELLTON
 Planning Department

NOTES:
 BASIS OF BEARINGS FOR THIS MAP IS THE CENTERLINE OF INDUSTRIAL WAY SHOWN AS
 N 25° 00' 15" E ON PARCEL MAP NO. 31,053, 63/PA/3/4-2
 BENCHMARK IS A DIVISION OF HIGHWAYS BRASS CAP STAMPED 'LAGS 1870' SHOWN ON
 THE RECORD OF SURVEY FILED IN BOOK 17 AT PAGES 89 - 90 WITH AN ELEVATION OF 346.82'
 AREA = 17.20 ACRES

REVISIONS	DATE	REMARKS

Surveyor's Statement
 This map is a true depiction of a field survey made by this office and meets the standards
 of my profession for the data that it was prepared.
 Prepared by: **Jed Berkeley Blake**
 N° 4786
 Dated: _____
 Jed B. Blake, PLS 4786

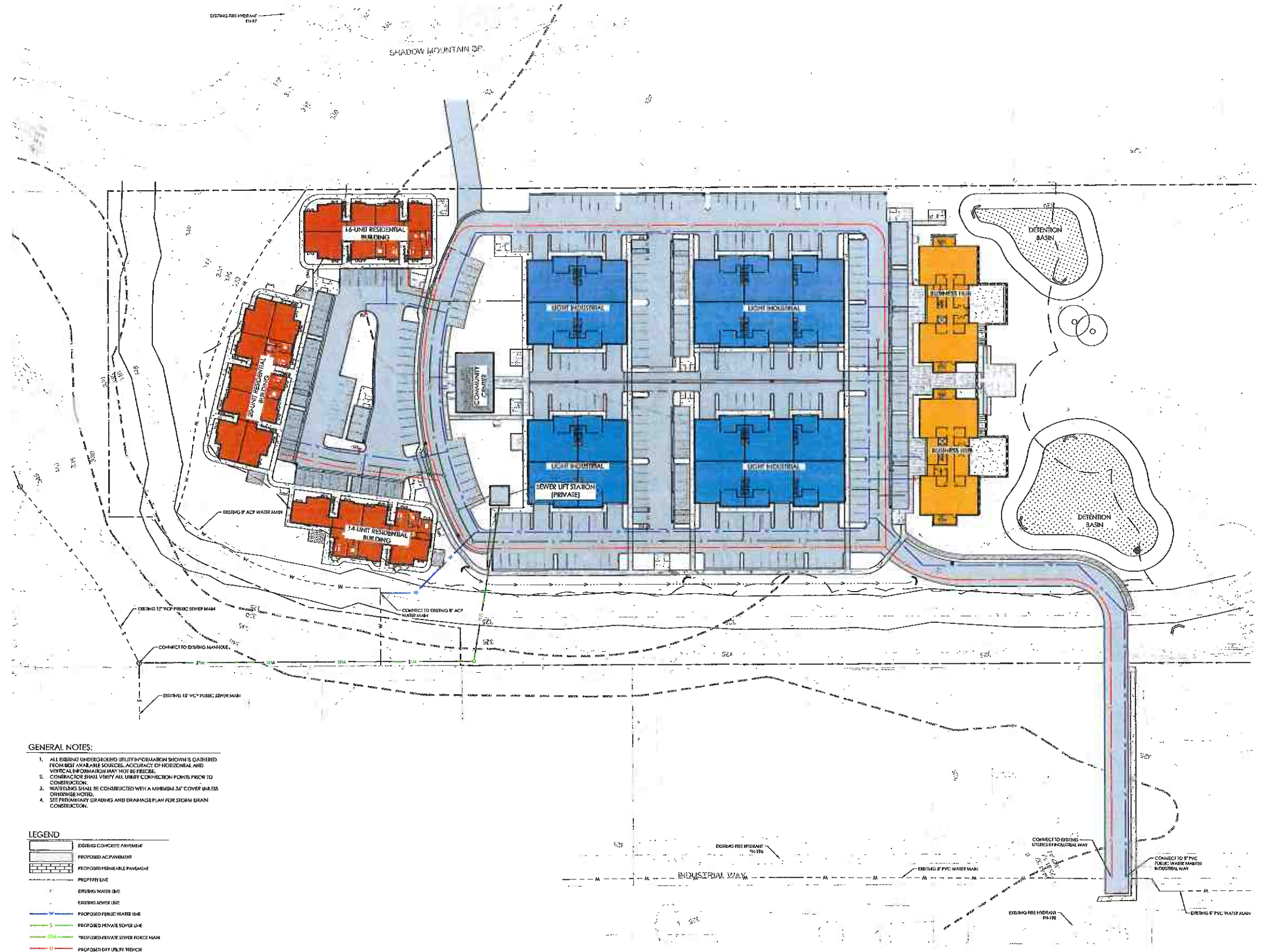
prepared by:
Blake Land Surveys
 250 Industrial Way, Suite C
 P.O. Box 869
 Sanilac, CA 95347
 TEL: 805-688-2054
 FAX: 805-686-1976
 EMAIL: info@blakelandsurveys.com
 established 1980

TOPOGRAPHIC MAP OF THAT PORTION OF TR. MAP NO. 31,040 PER MOOK 201, PAGES 63 TO 67
 OF MAPS, LYING IN THE CITY OF BUELLTON, COUNTY OF SANTA BARBARA, CA
 AT THE REQUEST OF GAVIN MOORES

DATE PREPARED 10-17-0216	SHEET 500F 1
DRAWING NO. 2016071_BOUND	PROJECT NO. 2016071
BY JBB	SCALE 1" = 50'
	DATUM CITY NAVD83
	REF:



Attachment 3



- GENERAL NOTES:**
1. ALL EXISTING UNDERGROUND UTILITY INFORMATION SHOWN IS GATHERED FROM BEST AVAILABLE SOURCES. ACCURACY OF HORIZONTAL AND VERTICAL INFORMATION MAY NOT BE PRECISE. CONTRACTOR SHALL VERIFY ALL UTILITY CONNECTION POINTS PRIOR TO CONSTRUCTION.
 2. WATERLINES SHALL BE CONSTRUCTED WITH A MINIMUM 36" COVER UNLESS OTHERWISE NOTED.
 3. SET PRELIMINARY GRADINGS AND DRAINAGE PLAN FOR STORM DRAIN CONSTRUCTION.

- LEGEND**
- EXISTING CONCRETE PAVEMENT
 - PROPOSED ASPHALT PAVEMENT
 - PROPOSED PERMEABLE PAVEMENT
 - PROPERTY LINE
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - PROPOSED PUBLIC WATER LINE
 - PROPOSED PRIVATE SEWER LINE
 - PROPOSED PRIVATE SEWER FORCE MAIN
 - PROPOSED CITY UTILITY TRENCH
 - PROPOSED FIRE HYDRANT
 - PROPOSED MANHOLE



RRM DESIGN GROUP COPYRIGHT 2016
RRM is a California Corporation



BUELLTON HUB
INDUSTRIAL WAY, BUELLTON, CA
PRELIMINARY UTILITY PLAN

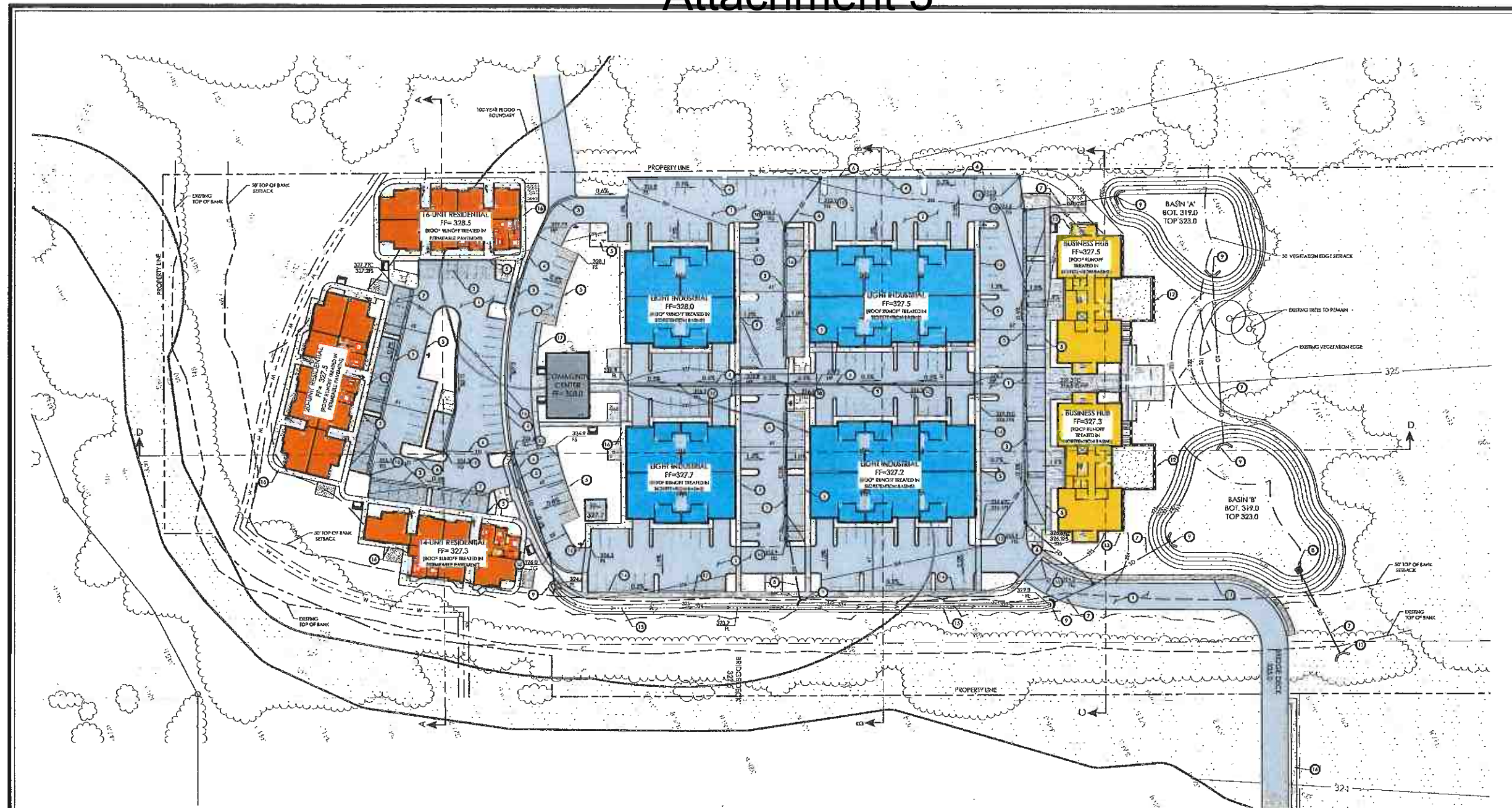
**** NOT FOR CONSTRUCTION ****

NO.	REVISION	DATE

PROJECT MANAGER
MICHAEL HAMILTON
DRAWN BY: ADW DESIGNED BY: MCH
DATE: JUNE 8, 2017
JOB NUMBER: 1573-01-0116
JOB NAME: BUELLTON HUB
JOB NUMBER: 1573-01-0116
JOB NAME: BUELLTON HUB
JOB NUMBER: 1573-01-0116
JOB NAME: BUELLTON HUB

C-1.0

Attachment 3



GENERAL NOTES:

1. SITE GRADING SHALL CONFORM TO THE RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER IN THE APPROVED EGS REPORT.
2. SEE PRELIMINARY UTILITY PLAN FOR WATER AND SEWER IMPROVEMENTS.
3. SEE SHEET C-2.0 FOR PRELIMINARY SITE SECTIONS.
4. ALL ON-SITE STORM DRAIN INLETS, MANHOLES AND DETENTION BASINS ARE PRIVATE AND WILL BE PRIVATELY MAINTAINED.

EARTH QUANTITIES

AREA OF DISTURBANCE 136 ACES
 RAW CUT: 5,100 CY
 RAW FILL: 17,600 CY

QUANTITY ESTIMATES ON THESE PLANS ARE TO BE USED FOR PERMIT PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL QUANTITIES FOR THE PURPOSE OF CONSTRUCTION.

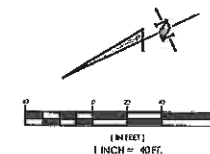
THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED FINISH GRADE AND THE LIMITED TOPOGRAPHIC EXISTING GRADES. THESE ESTIMATES DO NOT MAKE CONSIDERATIONS FOR LOSSES OR BUILDING (DUE TO: SPRINKLER, SOIL AMENDMENTS, STABILIZATION, CONSTRUCTION TECHNIQUE, FOOTING & FENCING SPILLS, ETC.). THESE, IN ADDITION TO ACTUAL FIELD CONDITIONS, CONSTRUCTION TECHNIQUE AND THE FINAL RECOMMENDATIONS OF THE SOILS ENGINEER MAY SIGNIFICANTLY AFFECT THE FINAL IMPORT/EXPORT QUANTITIES.

CONSTRUCTION NOTES

1. PROPOSED ASPHALT CONCRETE PAVEMENT.
2. PROPOSED PERMEABLE PAVEMENT.
3. PROPOSED 2" CONCRETE CURB AND 18" OUTLET.
4. PROPOSED 4" CONCRETE CURB AND 18" OUTLET.
5. PROPOSED 8" CONCRETE CURB ONLY.
6. PROPOSED 12" STORM DRAIN.
7. PROPOSED 18" STORM DRAIN.
8. PROPOSED 24" STORM DRAIN.
9. PROPOSED 30" STORM DRAIN.
10. PROPOSED 24" STORM DRAIN WITH 2" AXIAL CURB.
11. PROPOSED STORM DRAIN CURBS TO CREEK.
12. PROPOSED RETAINING WALL.
13. PROPOSED DEFENDED FOOTING.
14. PROPOSED CURB AND OUTLET WITH CURB TO ALLOW DRAINAGE TO PASS THROUGH INTO DRAIN.
15. PROPOSED SIDEWALK 2" AXIAL CURB.
16. PROPOSED 2" CONCRETE SIDEWALK.
17. PROPOSED 2" PERMEABLE PAVEMENT SIDEWALK.

LEGEND

- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED PERMEABLE PAVEMENT
- 100-YEAR FLOOD ZONE
- PROPERTY LINE
- PROPOSED RETAINING WALL
- EXISTING CENTERLINE
- PROPOSED CENTERLINE
- PROPOSED FLOWLINE
- PROPOSED PARALLEL STORM DRAIN
- PROPOSED GRADE BREAK
- EXISTING GRADE
- PROPOSED GRADE



** NOT FOR CONSTRUCTION **



BUELLTON HUB
 INDUSTRIAL WAY, BUELLTON, CA
PRELIMINARY GRADING AND DRAINAGE PLAN

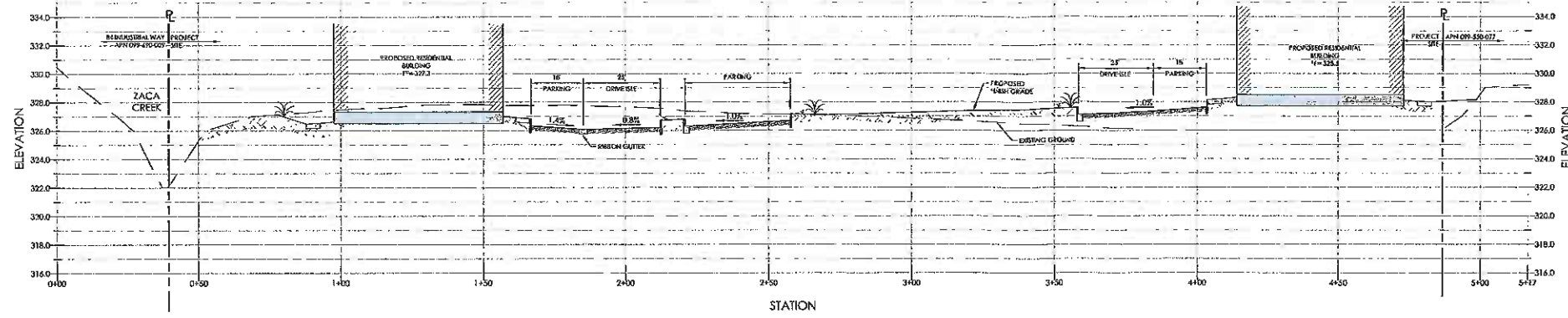
NO.	REVISION	DATE

PROJECT MANAGER: MICHAEL HAMILTON
 DESIGNER: JADW
 CHECKED BY: MCH
 DATE: JANUARY 9, 2018
 TITLE: C-2.0 Grading and Drainage
 JOB NUMBER: 0923-01-4416
 SHEET: C-2.0

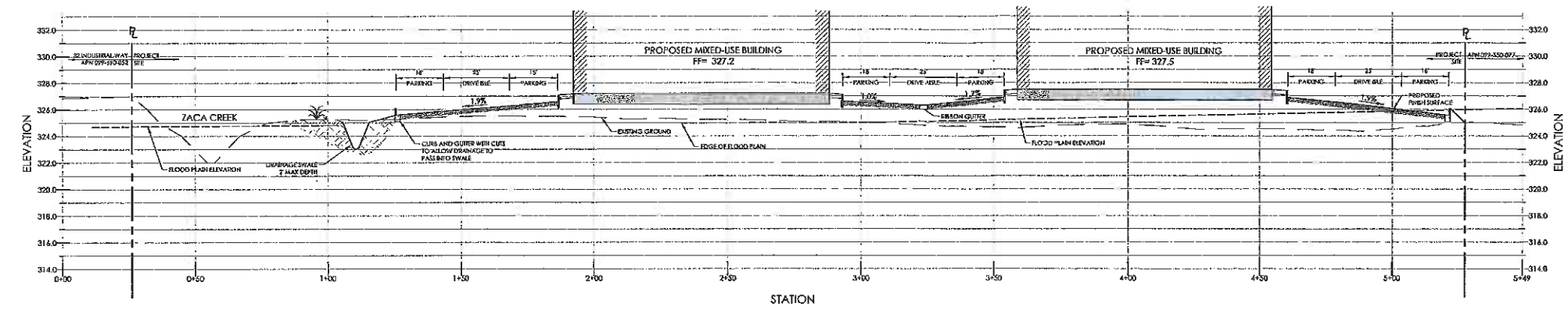


THE FOLLOWING INFORMATION IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE ENGINEER HAS NOT CONDUCTED A VISUAL INSPECTION OF THE SITE. THE ENGINEER'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE GRADING AND DRAINAGE PLAN. THE ENGINEER DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ENGINEER'S LIABILITY IS LIMITED TO THE DESIGN OF THE GRADING AND DRAINAGE PLAN. RRM DESIGN GROUP COPYRIGHT 2014. RRM is a California Corporation.

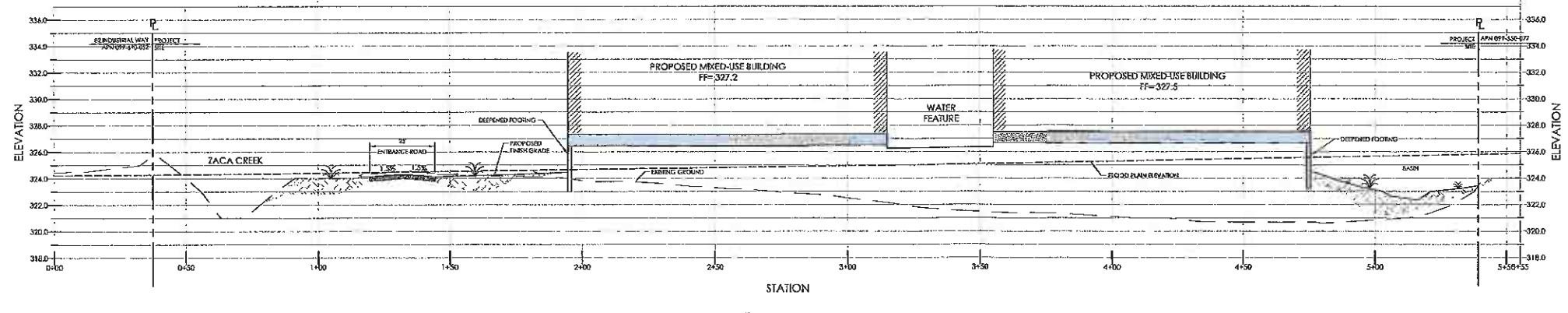
Attachment 3



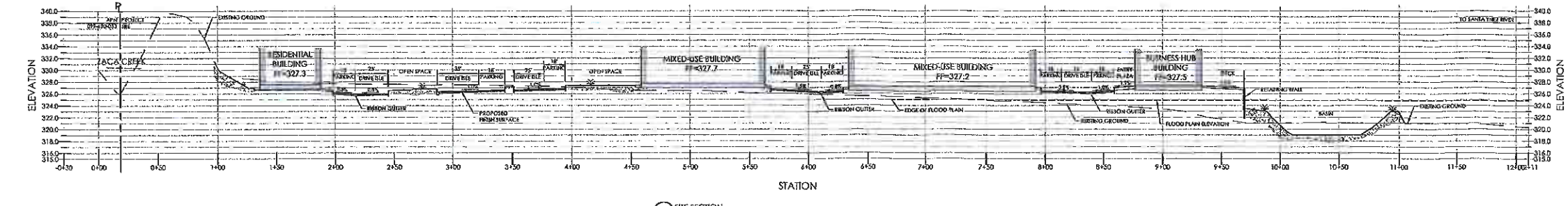
A SITE SECTION
SCALE: H=1"=20' V=1"=5'



B SITE SECTION
SCALE: H=1"=20' V=1"=5'



C SITE SECTION
SCALE: H=1"=20' V=1"=5'



D SITE SECTION
SCALE: H=1"=20' V=1"=5'



Professional Engineer
MICHAEL HAMILTON
License No. 51878
State of California
Civil
I hereby certify that I am the author of the design and drawings herein and that I am a duly Licensed Professional Engineer in the State of California.
MICHAEL HAMILTON
15530 14th St.
San Diego, CA 92128
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BUELLTON HUB
INDUSTRIAL WAY, BUELLTON, CA
PRELIMINARY SITE SECTIONS

** NOT FOR CONSTRUCTION **

NO.	REVISION	DATE

PROJECT MANAGER: MICHAEL HAMILTON
DRAWN BY: ADW | CHECKED BY: MCH
DATE: JUNE 8, 2017
EXD FILE: C-3.0 Site Sections.dwg
JOB NUMBER: 15530-14th St.
SHEET: C-3.0

Attachment 3



Robert F. Adams, ASLA
 EARTHKNOWER STUDIO
 LANDSCAPE ARCHITECT
 STATE OF CALIFORNIA LICENSE NO. 501848
 225 W. FIGUEROA STREET
 SANTA BARBARA, CA 93101
 (805) 322-2144
 robert@earthknoWER.com
 WEB: EARTHKNOWER.COM

LANDSCAPE PLAN

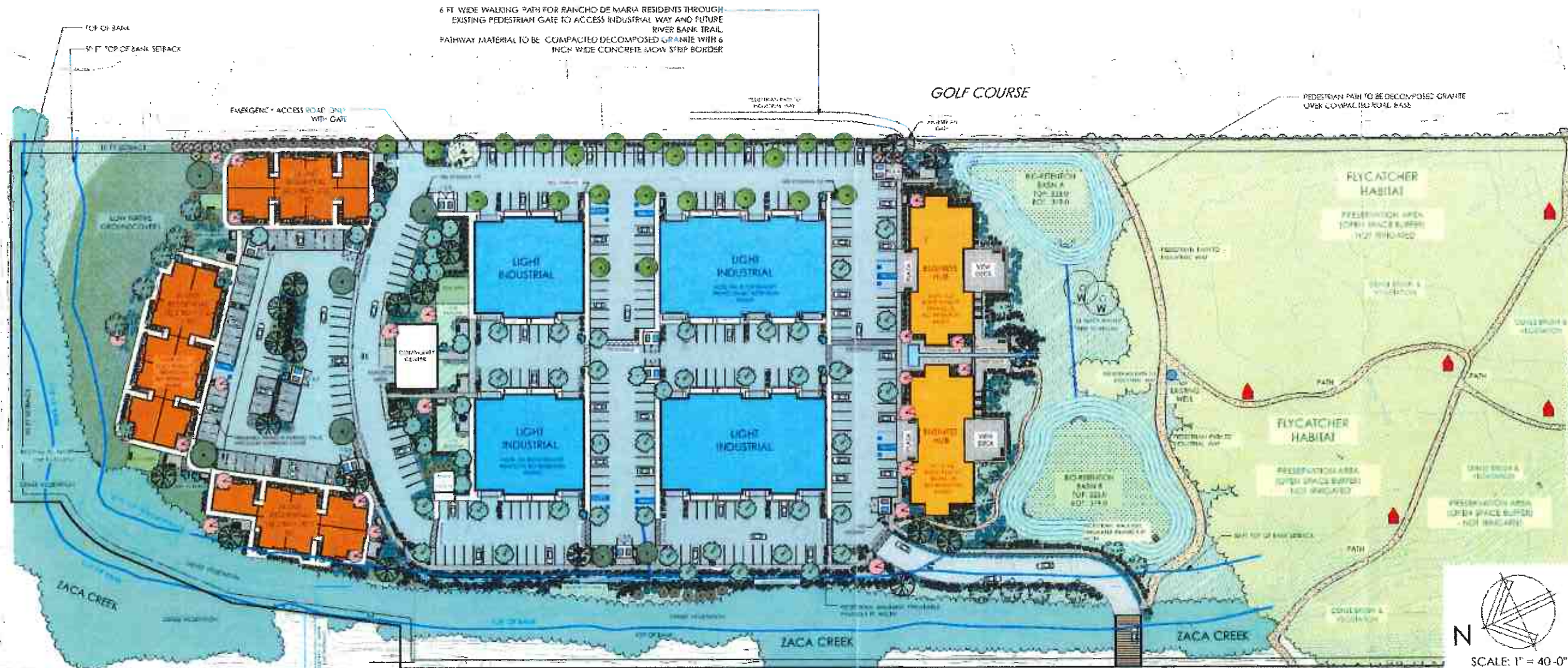
BUELLTON HUB (BUE-17)
 Industrial Way
 Buellton, California 93427
 APN: 099-690-048

Revisions

SHEET 1 OF 5

L-1

DATE PREPARED
 JULY 25, 2017



PLANT LEGEND

- * TREES NOT ON THE CITY OF BUELLTON TREE PLANTING LIST BUT THRIVE IN ZONE 14 - SUNSET CLIMATE ZONE
- DECIDUOUS TREES - 24" BOX**
 - * ALNUS RHOMBOFOLIA (WHITE ALDER)
 - GINKGO BILGUA (MAIDENHAIR TREE)
 - PLATANUS RACEVOSA (CALIFORNIA SYCAMORE)
- EVERGREEN TREES - 24" BOX**
 - * CALOCEDRUS DECLERENS (INCENSE CEDAR)
 - MELALEUCA QUINQUEFLOVA (CAJUPUT TREE)
 - QUERCUS AGRIFOLIA (OAK) (STANDARD FORM)
- INTERIOR TREES (SMALLER NARROW) - 24" BOX**
 - * ARBUTUS MABINA (MABINA MADRONE TREE)
 - CERCOS OCCIDENTALIS (WESTERN REDBUD)
 - GEJERA PARVIFLORA (AUSTRALIAN WILLOW)
 - * OLEA EUROPEA (OLIVE TREE) (FRUITLESS)
- PALMS**
 - CHAEMEROPS CERIFERA (TALL MOUNTAIN PALM)
- SCREENING SHRUBS - 3 GALLON**
 - RHAMNUS ALATERNUS (ITALIAN BUCKTHORN)
 - PITOSPORUM TENUIFOLIUM (PITOSPORUM) SILVER SHEEN
- LARGE SHRUBS - 5 GALLON**
 - CEANOTHUS CONCHA (CONCHA CEANOTHUS)
 - HETEROMELES ARBIFOLIA (FOYON)
 - OSMANthus FRAGRAS (SWEET OLIVE)
 - RHAMNUS CALIFORNICA (COFFEEBERRY)
 - RHUS INTEGRIFOLIA (LEMONADE BERRY)
- FLOWERING VINE (PLANT BOX) - 5 GALLON**
 - THUNBERGIA FLORENS (CLOCK VINE)
- SUCCULENTS**
 - AGAVE DESMETTIANA (DWARF CENTURY PLANT)
 - EUPHORBIA CHARACIAS WULFENI (EUPHORBIA)
 - HEPERALDE PARVIFLORA (RED YUCCA)
- SHRUBS - 3 GALLON**
 - CEANOTHUS 'CONCHA' (CALIFORNIA LILAC)
 - ESCALLONIA NEWPORT DWARF (ESCALLONIA)
 - NANDINA 'GULF STREAM' (DWARF HEAVENLY BAMBOO)
 - PHORMIUM MAORI SUNRISE (NEW ZEALAND FLAX)
 - ROSMARINUS TUSCAN BLUE (ROSEMARY)
 - WESTRINGIA (COAST ROSEMARY)
- ORNAMENTAL GRASSES - 1 GALLON**
 - CAREX DIVULSA (BERKELEY SEDGE)
 - CHONDROPOETALUM TECTORIUM (SMALL CAPE RUSH)
 - MULLENBERGIA RIGENS (DEER GRASS)
 - MISCANTHUS SINENSIS CABERET (CABERET SILVERGRASS)
- SMALL PERENNIALS**
 - CALISTEMON 'LITTLE JOHN' (DWARF BOTTLEBRUSH)
 - CISTUS X PURPUREUS (ORCHID ROCKROSE)
 - LAVANDULA X INTERMEDIA PROVENCE (BLUE LAVENDER)
 - SALVIA 'CANTABRIGIA' (GERMANDER SAGE)
- LOW GROUNDCOVERS - 1 Gallon or 48 INCHES O.C.**
 - ARCTODIAPHYLLOS EMERALD CARPET (CARPET HAWAIIANITA)
 - CEANOTHUS 'GLORIOSUS' ANCHOR BAY
- MEADOW GROUNDCOVER**
 - ROUPELIA GRACILIS (BLUE GRAMA 'HAC-HITA')
 - SEEDED AT 60 LBS. PER ACRE

KEY LANDSCAPE PLAN NOTES

- LANDSCAPE AREAS WITHIN THIS PLAN TO COMPLY WITH UNWELO 2015 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE
- IF NOT ON THE CITY OF BUELLTON TREE LIST WILL BE LOW WATER USE AND THRIVE IN ZONE 14 - SUNSET CLIMATE ZONE
- NO EXISTING TREES LARGER THAN 3" DBH TO BE REMOVED
- ALL PLANT APPLICATIONS FOR ZONE 14 - CLIMATE ZONE
- IF 3" OR SMALLER TREES, SPECIFICS BY STATE OF CALIFORNIA FOR REGION 2 (RANGE 1) ALLIST. CALIFORNIA
- PLANTS NON-INVASIVE PER CALIFORNIA INVASIVE PLANT COUNCIL
- FOR DRIP IRRIGATION PLANS & DETAILS SEE SHEETS L-3 AND L-4
- PROVIDE MINIMUM 3" BARK MULCH FOR ALL NEW PLANTING BEDS
- MINIMUM SOIL DEPTHS 12" FOR GROUNDCOVER AREAS 18" FOR SHRUBS/TREES AREAS 3 FT. DBH FOR TREE WELLS/TREE PLANTING AREAS

INDUSTRIAL WAY

LEGEND (CONTINUED)

- NATIVE TREE**
 - EMBALLERA CALIFORNICA (CALIFORNIA BAY LINDLE) 12 GAL
- NATIVE LARGE SHRUBS**
 - HETEROMELES ARBIFOLIA (FOYON) - 5 GALLON
 - RHAMNUS CALIFORNICA (COFFEEBERRY) - 3 GALLON
- NATIVE SHRUBS AND GROUNDCOVERS**
 - ARTEMISIA DUNGLASIANA (MUDWORT) - 1 GALLON
 - CEANOTHUS 'GLORIOSUS' ANCHOR BAY (BLUE LILAC) 4" O.C. - 1 GALLON
 - LOHICERA SUSPICATA (SANTA BARBARA HONEYBUCKLE) 1 GALLON - PLANT 3 FT. O.C.
 - RUSUS VESPAI (INDIAN BLACKBERRY) - 1 GALLON
 - RHUS VIBURNIFOLIA (LEMONADE BERRY) 1 GAL. ON PLANT 3 FT. O.C.
- NATIVE AND ORNAMENTAL GRASSES (GALLON SIZE)**
 - MULLENBERGIA RIGENS (DEER GRASS) - 1 GALLON - PLANT 3 FT. O.C.
 - MULLENBERGIA RIGENS (DEER GRASS) - 1 GALLON - PLANT 3 FT. O.C.
- RETENTION BASH (HYDROSEED) AND SEEDING (MATERIALS)**
 - CONCRETE AT 1" MIN. SLAB ON GRADE
 - ARTHEMISIA RIGENS (DEER GRASS) SLOPED EDGES TO INCLUDE ALYSSUM (PARSON) SALVIA 'SPANICUS' (HEMMLOCK SAGE) SERBAC-PUM BELLUM (BLUE EYED GRASS) SOLIDAGO CALIFORNICA (CALIF. GOLDENROD)
 - ITALIAN SAGE STRIP WITH 3" BARK MULCH - 1 GALLON
- ADENOSTOMA MASCULABUM (CHAMISE) 35" O.C.**
- ARTEMISIA CALIFORNICA (CALIFORNIA SILVER CHENOPodium FULVUM (COYOTE BRUSH) 35" O.C.**
- ERIOGONUM FASCICULATUM (FOUR-LOOSE) 35" O.C.**
- BUCKWHEAT 35" O.C.**
- SALVIA MELIIFERA (BLACK SAGE) 35" O.C.**
- FORMAL PATHWAYS - DECOMPOSED GRANITE OVER COMPACTED ROAD BASE**
- PERMEABLE PAVING (PAVERS WITH GRAVE YOGIS OVER COMPACTED SUB SURFACE) EARTH TONE COLOR BORDERS TO BE 6" WIDE CONIC CURBS**
- TRASH & RECYCLING ENCLOSURE - SEE DETAIL ON SHEET L-2**
- RAPTOR ROOST NESTING BOX**

LANDSCAPE STATISTICS:
 AS INDICATED ON THIS PLAN:

PROPERTY SIZE: 17.1 ACRES (747,581 SF)

TOTAL LANDSCAPE AREA: 445,790 SF (60%)
 OPEN AREA (NON-IRRIGATED) 289,040 SF
 LANDSCAPE AREA (IRRIGATED) 156,750 SF

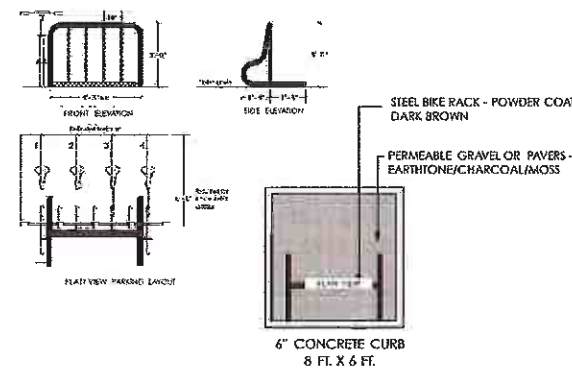
BUILDINGS & COMMON AREAS: 125,170 SF (17%)
 HARDSCAPE: 173,916 SF (23%)

OPEN SPACE REQUIRED (250 SF PER UNIT) 13,500 SF (1.5%)
 *OPEN SPACE PROVIDED: 20,216 SF (>15%)

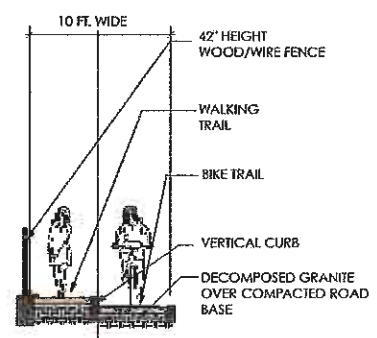
* INCLUDES PLAY AREAS PLAZAS WATER FEATURE SEATING AREAS BBQ AREAS PASSIVE RECREATION AREAS WITHIN THE DEVELOPED AREAS



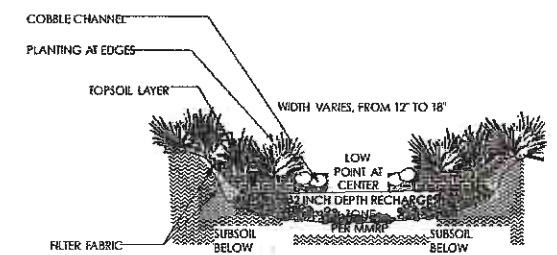
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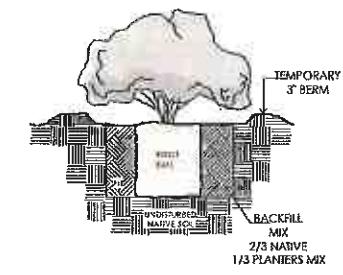
BIKE RACK PARKING AREAS
NOT TO SCALE **E**



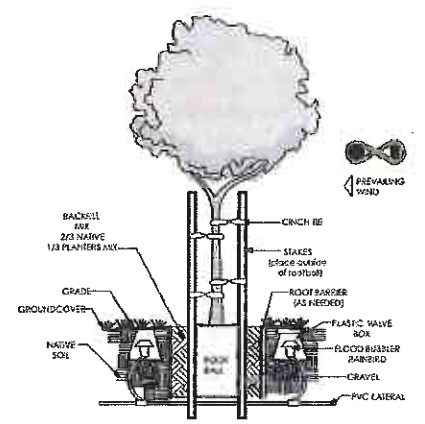
EASTERN EDGE BIKE/WALKING TRAIL TO RIVER CONCEPT
NOT TO SCALE **D**



VEGETATED SWALE
NOT TO SCALE **C**



SHRUB PLANTING DETAIL
NOT TO SCALE **B**



TREE PLANTING DETAIL
NOT TO SCALE **A**



WATER FEATURE AT THE HUB
NOT TO SCALE **J**



TRUSS TYPE
VEHICLE BRIDGE
NOT TO SCALE **I**



WOOD-WIRE FENCE AT EASTERN EDGE
NOT TO SCALE **H**



EMERGENCY GATE (EAST SIDE)
NOT TO SCALE **G**



RAPTOR ROOST (SOUTH PORTION OF SITE)
NOT TO SCALE **F**

LANDSCAPE INFORMATION:
6.8.2017

PROJECT INFORMATION:
ROBERT F. ADAMS, LANDSCAPE ARCHITECT - EARTHKNOWER STUDIO
225 W. FIGUEROA STREET
SANTA BARBARA, CA 93101
(805) 722-2144
EMAIL: ROBERT@EARTHKNOWER.COM
STATE OF CA LICENSE 4726 EXP 10.2017

PROPERTY OWNER INFORMATION:
PETER HAUBER
2660 JANIN WAY
SOLVANG, CALIFORNIA 93463

PROJECT ADDRESS:
INDUSTRIAL WAY BUELLTON, CALIFORNIA
APN: 099-690-048

PARCEL SIZE: 17+ACRES - 747,581 SF
TOTAL LANDSCAPE/OPEN SPACE AREA: 454,786 SF
IRRIGATED LANDSCAPE AREA: 155,800 SF
NON-IRRIGATED LANDSCAPE OPEN SPACE AREA: 298,986 SF
PROJECT TYPE: MIXED USE CAMPUS - ZONING M
WATER SUPPLY TYPE: PUBLIC (BUELLTON WATER DISTRICT)

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE PACKAGE.

ROBERT F. ADAMS, ASLA _____ DATE _____

2. WATER EFFICIENT LANDSCAPE COMPLIANCE - SEE PLANT LEGEND SHEET L-1, SIGNED COMPLIANCE CERTIFICATE (THIS SHEET, L-2); IRRIGATION PLAN EQUIPMENT LEGEND SHEET L-3, DRIP IRRIGATION DETAILS SHEET L-4 • FOR WATER BUDGET CALCULATIONS SEE IRRIGATION PLAN SHEET L-3

PLANTING NOTES

- (1) LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR, PROJECT ARCHITECT, AND LANDSCAPE ARCHITECT OF SITE CONDITIONS WHICH PREVENT INSTALLATION PER PLANS AND SPECIFICATIONS. SEE PLANTING PLANS FOR EACH AREA (A, B AND C). LANDSCAPE CONTRACTOR TO LOCATE ALL WATER METERS, UTILITY EQUIPMENT AND OBSTRUCTIONS PRIOR TO LAYOUT OF TOPSOILS AND PLANT MATERIALS INCLUDING TREES. REPORT ANY OBSTRUCTIONS TO GENERAL CONTRACTOR/ OWNER'S REPRESENTATIVE.
- (2) LANDSCAPE CONTRACTOR TO BE RESPONSIBLE FOR REPLANTING AREAS WHICH ARE NOT INSTALLED PER PLAN AND SPECIFICATIONS. LANDSCAPE CONTRACTOR TO SCHEDULE A WALK-THROUGH WITH LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE TO REVIEW AND APPROVE FINAL LOCATIONS OF TREES, SHRUBS, VINES AND GROUNDCOVERS FOR EACH AREA OR PHASE OF WORK.
- (3) IRRIGATION SYSTEM SHALL BE INSTALLED PRIOR TO PLANT MATERIALS - SEE IRRIGATION PLANS FOR EACH AREA
- (4) TREES AND SHRUBS SHALL BE PLANTED AFTER PAVING, DRIVEWAYS OR PATHWAYS INSTALLED BUT NOT BEFORE IRRIGATION COVERAGE TEST.
- (5) PLACE TREES BETWEEN IRRIGATION EQUIPMENT WHEREVER POSSIBLE, AND PLACE TREES IN BEDS ALONG PARKING STRIPE IN PARKING LOT IF POSSIBLE.
- (6) LANDSCAPE CONTRACTOR SHALL NEW PLANTING SOILS AND MULCH HERE NEEDED. FOLLOW ANY RECOMMENDATIONS PROVIDED BY SOIL TESTS. PLANTING MIX TO BE MINIMUM 40% FRABLE, DISEASE-FREE TOPSOIL AND 60% ORGANIC COMPOST MIN. AND MINIMUM 14 INCHES DEEP FOR ALL NEW PLANTING BEDS.
- (7) PRE EMERGENT HERBICIDE SHALL BE APPLIED AT OWNER'S APPROVAL PRIOR TO BARK MULCH INSTALLATION.
- (8) BARK MULCH INSTALLATION: INSTALL 2 INCH DEPTH FOR ALL PLANTING BEDS AS INDICATED BY THESE PLANS. MULCH SHALL BE CERTIFIED CLEAN AND FREE OF ALL PESTS AND DISEASE (INCLUDING FUNGUS THAT MAY CAUSE DAMAGE TO SURROUNDING STRUCTURES)
- (9) CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS AND REPLACEMENTS OF ANY DAMAGED LANDSCAPE AREA BEYOND THE LIMIT OF WORK, THAT IS A DIRECT RESULT OF THE LANDSCAPE CONSTRUCTION AND/OR HIS SUB-CONTRACTOR(S). REPLACEMENT ITEMS SHALL BE DUPLICATES OF ORIGINAL WORK.
- (10) CLEAN UP SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED BY THE OWNER'S REPRESENTATIVE.
- (11) PLANT QUALITY SHALL BE GRADE A, FREE OF DAMAGE, DISEASE, ROOTBOUND, OR INFERIOR QUALITY WILL NOT BE ACCEPTED. PLANT MATERIAL TO BE INSPECTED UPON DELIVERY OR AT THE NURSERY PRIOR TO DELIVERY. CONTRACTOR TO SCHEDULE INSPECTION MEETING WITH GENERAL CONTRACTOR WITH AN ADVANCED NOTICE OF 48 HRS. ANY UNACCEPTABLE PLANT MATERIAL WILL BE REJECTED.
- (12) AT GRADING, ALL TOPSOIL SHALL BE SAVED TO BE UTILIZED ON THE PROJECT TO MINIMIZE IMPORTED MATERIAL. TOPSOIL SHALL BE STOCKPILED IN EACH AREA OF CONSTRUCTION AND SECURED WITH A TARP OR PROTECTIVE COVERING TO PROTECT AGAINST WIND OR STORM RUNOFF.
- (13) ALL TREE AND SHRUB PLACEMENT WILL BE APPROVED BY THE GENERAL CONTRACTOR OR LANDSCAPE ARCHITECT PRIOR TO PLANTING. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING THE MEETING 48 HOURS IN ADVANCE FOR PLANT PLACEMENT MEETING.
- (14) ALL TREES SHALL BE STAKED. SHALL BE PLANTED PER THE DETAIL SHOWN ON THIS PLAN, PROVIDING STANDARDS AND HAVE ROOT BARRIERS INSTALLED AROUND ROOTBALLS DUE TO CLOSE PROXIMITY OF PAVING, DRIVEWAYS, BIKE PARKING AREAS AND SIDEWALKS (SEE TREE PLANTING DETAIL).
- (15) CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A TREE AND SHRUB COUNT AND DETERMINING THE QUANTITIES SHOWN ON PLAN, FOR ALL PLANTING INDICATED. REPORT FINAL NUMBERS TO OWNER'S REPRESENTATIVE AND GENERAL CONTRACTOR.
- (16) CONTRACTOR TO PROVIDE IN WRITING TO OWNER A PLANT GUARANTEE FOR ALL PLANT MATERIAL PROVIDED. THE DURATION SHOULD BE AS FOLLOWS #24" BOX AND OVER- ONE YEAR, #15 GALLON, 5 GALLON/1GALLON/PLATS AND SMALLER-3 MONTHS FOR EACH SPECIFIC AREA OF LANDSCAPE CONSTRUCTION.
- (17) CONTRACTOR TO SCHEDULE A WALK THROUGH AT THE CONCLUSION OF EACH AREA FOR THE FOLLOWING: 1) IRRIGATION WORK 2)BED PREP, FINE GRADING AND BEFORE PLANTING IS FINISHED. CONTRACTOR TO CONTACT GENERAL CONTRACTOR AND/OR LANDSCAPE ARCHITECT AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE EACH WALK THROUGH. CONTRACTOR SHALL BE PROVIDED A PUNCH LIST OF LANDSCAPE ITEMS TO CORRECT BEFORE LANDSCAPE IS COMPLETE. CONTRACTOR TO PROVIDE A NINETY DAY MAINTENANCE AGREEMENT FOR ALL WORK PERFORMED.
- (18) SEE CIVIL EN PLANS FOR INFORMATION ON PROPOSED HARDSCAPE, CURBS, STRUCTURES, SITE WALLS, ANY OTHER STRUCTURES AND ALL DRAINAGE FEATURES AROUND PROPOSED BUILDINGS. REPORT ANY DISCREPANCIES TO THE GENERAL CONTRACTOR, PROJECT ARCHITECT AND OWNER OF THE PROPERTY.



CONCEPT



TRASH ENCLOSURE SCREENING
NOT TO SCALE **K**



Robert F. Adams, ASLA
EARTHKNOWER STUDIO
LANDSCAPE ARCHITECT
STATE OF CALIFORNIA LIC. NO. 4726

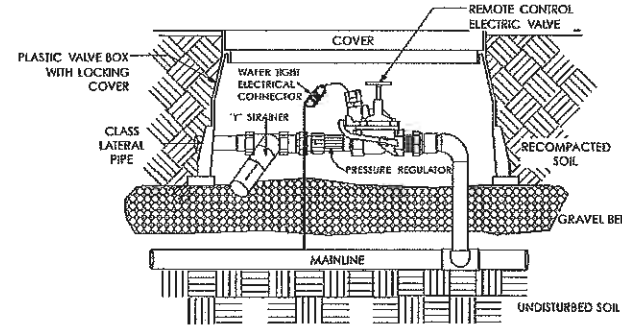
225 W. FIGUEROA STREET
SANTA BARBARA, CA 93101
(805) 722-2144
robert@earthknower.com
WEB: EARTHKNOWER.COM

LANDSCAPE AND SITE DETAILS

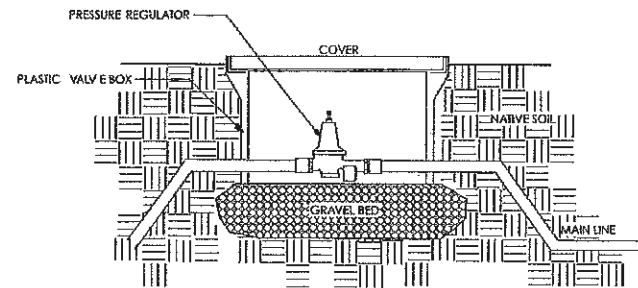
BUELLTON HUB (BUE-17)
Industrial Way
Buellton, California 93427
APN: 099-690-048

Revisions

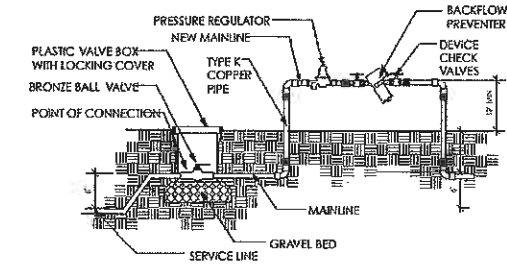
Attachment 3



C DRIP VALVE ASSEMBLY
NOT TO SCALE



B PRESSURE REGULATOR
NOT TO SCALE

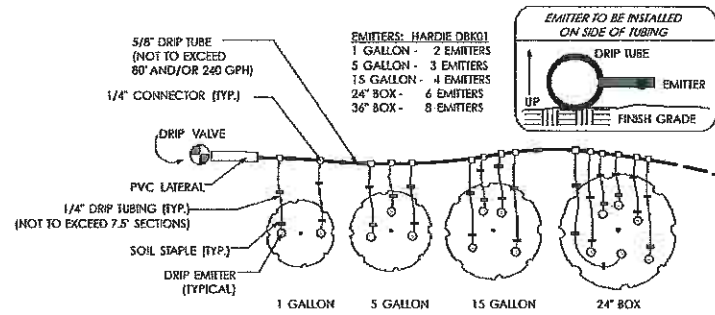


A REDUCED PRESSURE BACKFLOW PREVENTER AND BALL VALVE ASSEMBLY - POINT OF CONNECTION
NOT TO SCALE

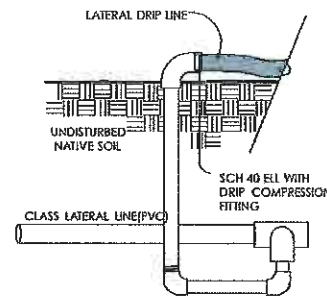


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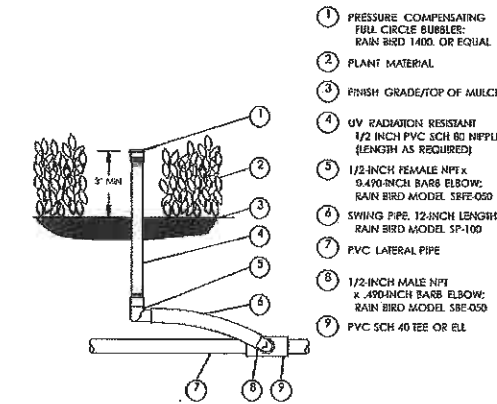
IRRIGATION DETAILS



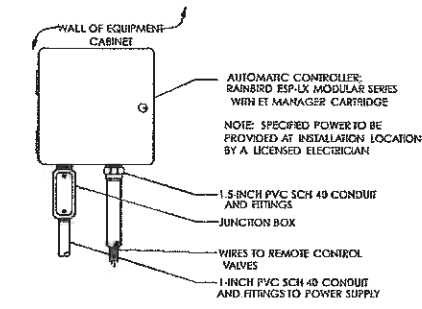
H DRIP TUBE CONFIGURATION
NOT TO SCALE



G DRIP TUBE STUB-OUT
NOT TO SCALE



F PRESSURE COMPENSATING LOW-FLOW BUBBLER
NOT TO SCALE



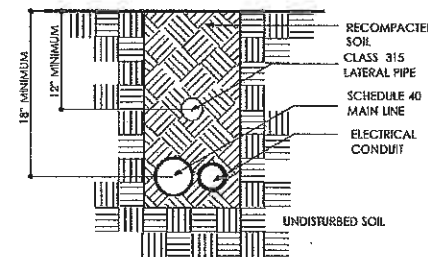
E CENTRAL CONTROLLER - WALL MOUNT
NOT TO SCALE

SEE www.gorillacages.com
FOR INFORMATION ON THIS
EQUIPMENT TO SECURE
BACKFLOW EQUIPMENT

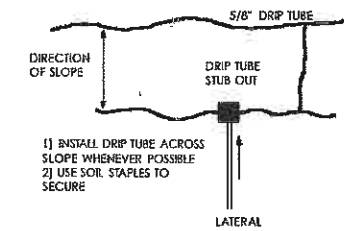


PRE-INSTALLED CONCRETE FORM

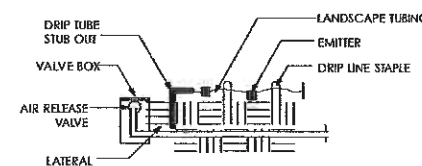
K GORILLA CAGE FOR BACKFLOW PREVENTER
NOT TO SCALE



J IRRIGATION TRENCH
NOT TO SCALE



I LANDSCAPE DRIP LINE
NOT TO SCALE



I LANDSCAPE DRIP LINE
NOT TO SCALE

BUELLTON HUB (BUE-17)
Industrial Way
Buellton, California 93427
APN: 099-690-048

Revisions

SHEET 4 OF 5

L-4

DATE PREPARED
JUNE 8, 2017

Attachment 3

OUTDOOR LIGHTING FIXTURE LEGEND

NOTES
 ALL FIXTURES ARE TO BE LED TYPE
 ALL FIXTURES TO BE NIGHT SKY COMPLIANT
 ALL FIXTURES ARE SHIELDED AND SHINE DOWNWARD TO REDUCE GLARE

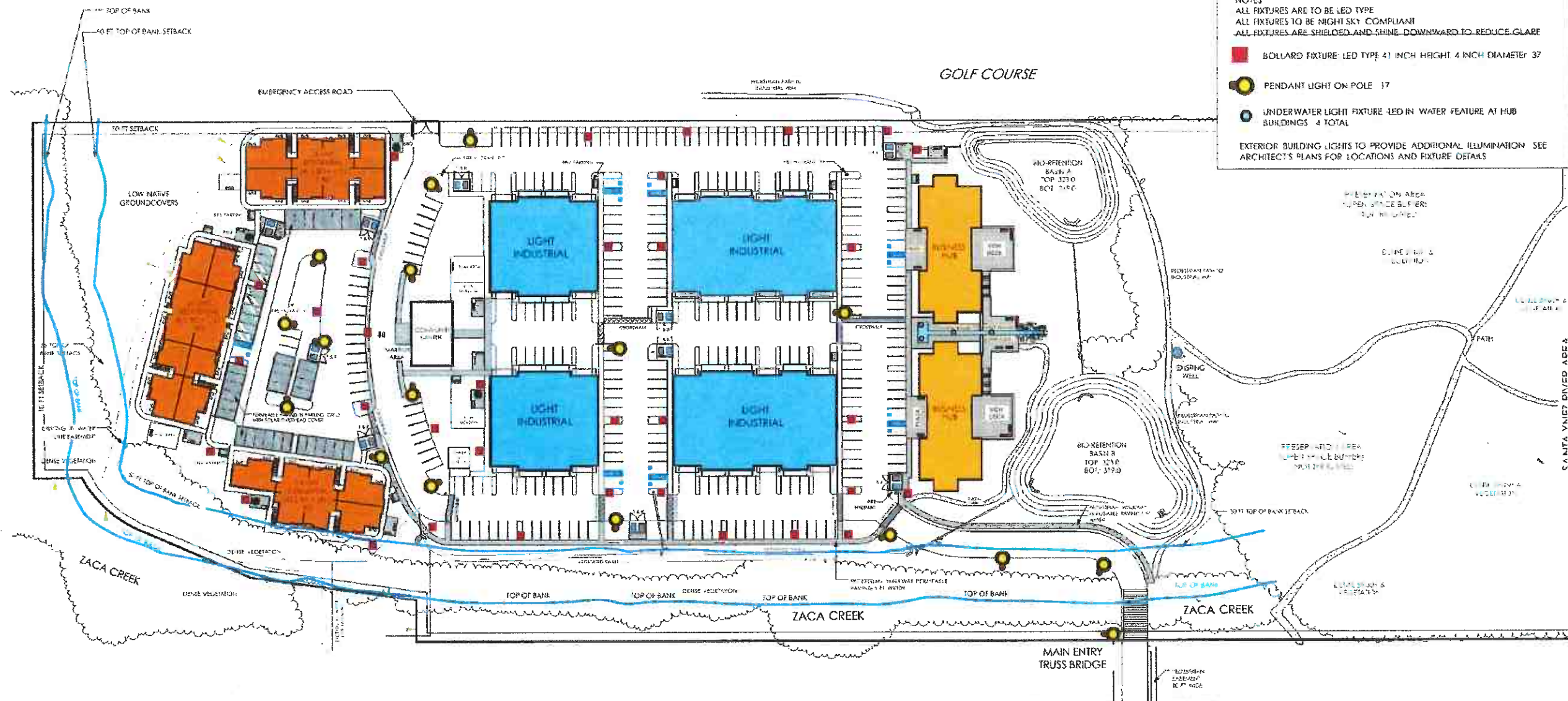
- BOLLARD FIXTURE - LED TYPE 41 INCH HEIGHT, 4 INCH DIAMETER 37
- PENDANT LIGHT ON POLE 17
- UNDERWATER LIGHT FIXTURE - LED IN WATER FEATURE AT HUB BUILDINGS 4 TOTAL

EXTERIOR BUILDING LIGHTS TO PROVIDE ADDITIONAL ILLUMINATION. SEE ARCHITECT'S PLANS FOR LOCATIONS AND FIXTURE DETAILS



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 robert@earthkover.com
 WEB: EARTHKOVER.COM

OUTDOOR LIGHTING PLAN



AQI 2V LED BRASS UNDERWATER SPOT LIGHT WITH ANGLE SHIELD 15975
 MANUFACTURER: AQI
 TYPE: SPOT WITH ANGLE SHIELD 2V & WATT
 LAMP: LED WARM WHITE PAR 65PC1
 DIAMETER: 3.3"
 LENGTH: 6.4"
 TWO FIXTURES TOTAL (UNDERWATER)
 15.0 FT. DOWNWARD ONLY INTO FOUNTAIN
 This fixture provides the efficiency and reliability of LED technology for underwater lighting.

WATER FEATURE FIXTURE

Domia™

DETAILS

High quality street lighting fixture with a modern design. Available in a variety of finishes and heights. The Domia™ is a street lighting fixture that is designed to provide a high quality of light. It is a street lighting fixture that is designed to provide a high quality of light. It is a street lighting fixture that is designed to provide a high quality of light.

LED LENS & OPTICS

- High power LED available in 90° and 120°
- Type 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

FORMATS

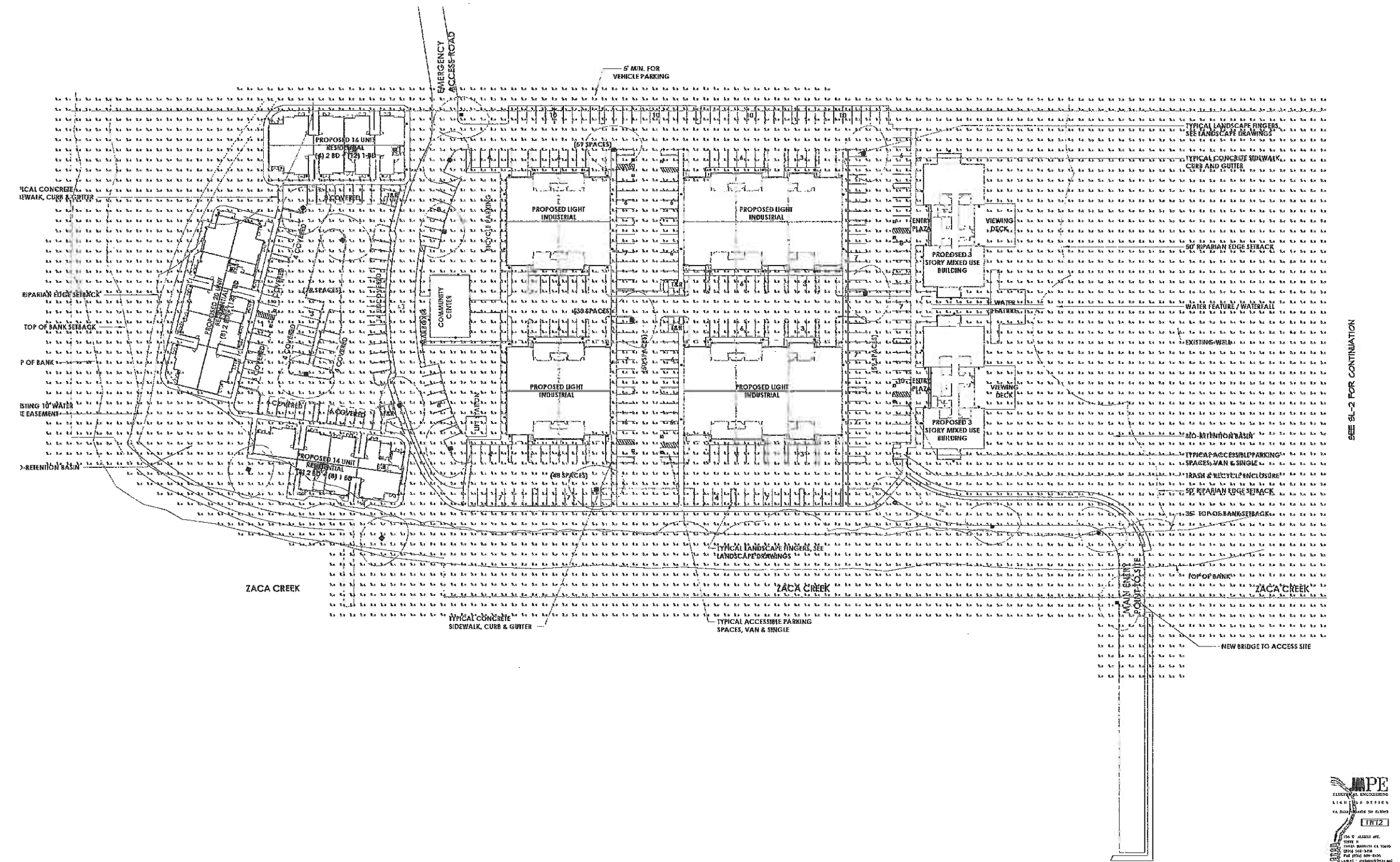
- Available in 10, 12, 15, 18, 21, 24, 27, 30, 33, 36, 39, 42, 45, 48, 51, 54, 57, 60, 63, 66, 69, 72, 75, 78, 81, 84, 87, 90, 93, 96, 99, 102, 105, 108, 111, 114, 117, 120, 123, 126, 129, 132, 135, 138, 141, 144, 147, 150, 153, 156, 159, 162, 165, 168, 171, 174, 177, 180, 183, 186, 189, 192, 195, 198, 201, 204, 207, 210, 213, 216, 219, 222, 225, 228, 231, 234, 237, 240, 243, 246, 249, 252, 255, 258, 261, 264, 267, 270, 273, 276, 279, 282, 285, 288, 291, 294, 297, 300, 303, 306, 309, 312, 315, 318, 321, 324, 327, 330, 333, 336, 339, 342, 345, 348, 351, 354, 357, 360, 363, 366, 369, 372, 375, 378, 381, 384, 387, 390, 393, 396, 399, 402, 405, 408, 411, 414, 417, 420, 423, 426, 429, 432, 435, 438, 441, 444, 447, 450, 453, 456, 459, 462, 465, 468, 471, 474, 477, 480, 483, 486, 489, 492, 495, 498, 501, 504, 507, 510, 513, 516, 519, 522, 525, 528, 531, 534, 537, 540, 543, 546, 549, 552, 555, 558, 561, 564, 567, 570, 573, 576, 579, 582, 585, 588, 591, 594, 597, 600, 603, 606, 609, 612, 615, 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Attachment 3



Location	City	Year	Arrangement	Total Lot/Lot Area	LLP	Description
1	118	1	WALL BRIDGE	1	MA	1.000
2	118	1	CONCRETE BRIDGE	1	MA	0.010
3	118	1	CONCRETE BRIDGE	1	MA	0.010

Location	City	Year	Arrangement	Total Lot/Lot Area	LLP	Description
1	118	1	WALL BRIDGE	1	MA	1.000
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3	118	1	CONCRETE BRIDGE	1	MA	0.010



NOT FOR CONSTRUCTION

SEE SL-2 FOR CONTINUATION

Buelton Hub
 Industrial Way
 Buelton, CA 93427
 PROJECT #: 16C105

NO.	DESCRIPTION	DATE
1	Coordination	11/30/2016
2	Planning Submittal	12/16/2016



PHOTOMETRIC SITE PLAN
 SCALE: 1" = 40'-0"

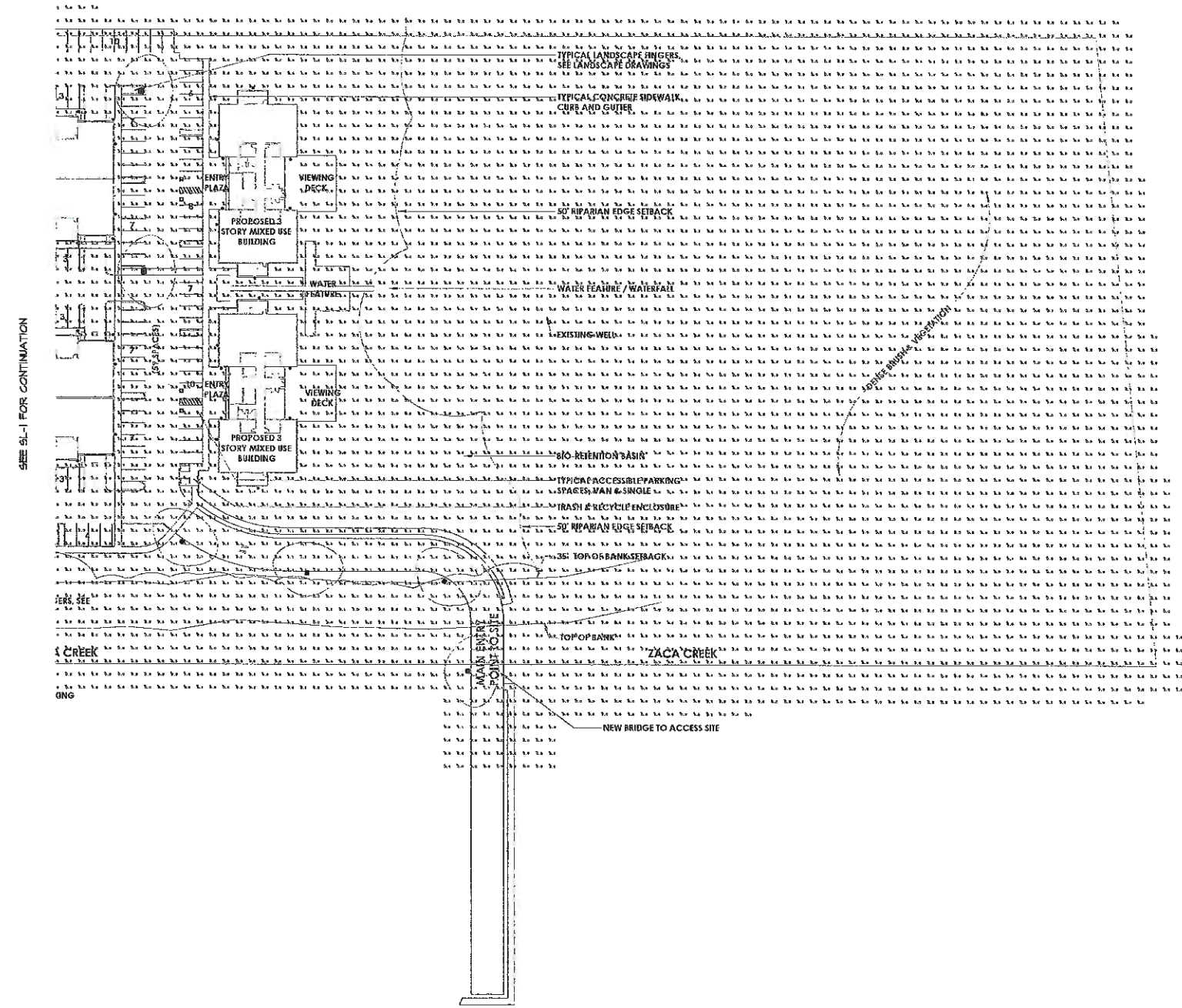
SL-1
 PHOTOMETRIC SITE PLAN

E:\2017 DMHA\17172\17172 SL-1AR 05June17.dwg, 6/13/2017 1:18:51 PM, 006-2

Attachment 3



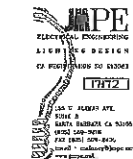
805.965.7777
1 N. Calle Cesar Chavez #202
Santa Barbara, CA 93103



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Buelton Hub
Industrial Way
Buelton, CA 93427

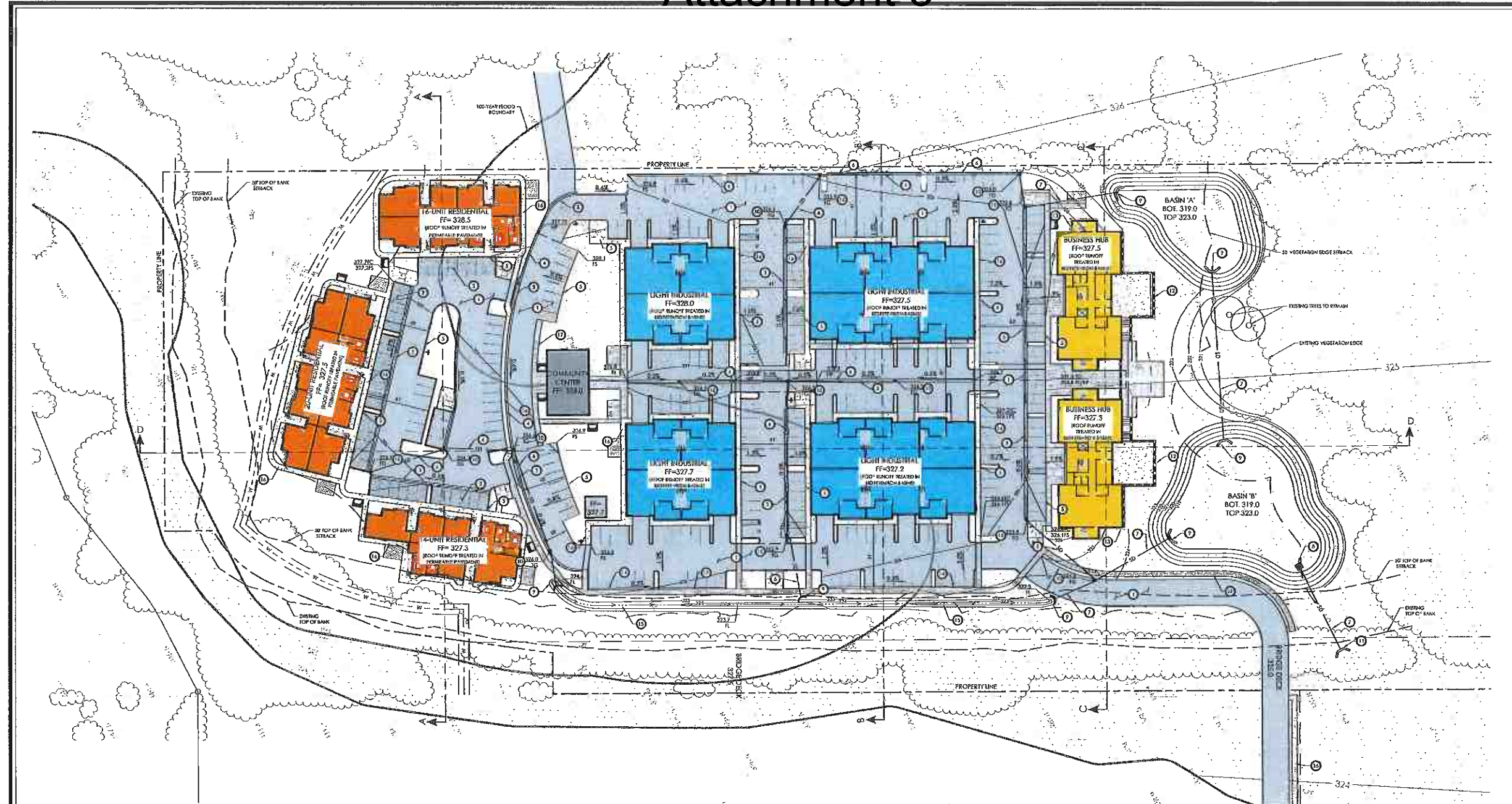
NO.	DESCRIPTION	DATE
-	Coordination	11/30/2016
-	Planning Submittal	12/16/2016



PHOTOMETRIC SITE PLAN
SCALE: 1" = 40'-0"

SL-2
PHOTOMETRIC SITE PLAN

Attachment 3



GENERAL NOTES:

1. SEE GRADING SHALL CONFORM TO THE RECOMMENDATIONS MADE BY THE GEOTECHNICAL ENGINEER IN THE APPROVED SOILS REPORT.
2. SEE PRELIMINARY UTILITY PLAN FOR WATER AND SEWER IMPROVEMENTS.
3. SEE SHEET C-20 FOR PRELIMINARY SITE SECTIONS.
4. ALL ON SITE STORM DRAIN INLETS, MANHOLES AND DETENTION BASINS ARE PRIVATE AND WILL BE PRIVATELY MAINTAINED.

EARTH QUANTITIES

AREA OF DISTURBANCE 13.0 AC.

RAW CUT: 3,180 CY

RAW FILL: 17,600 CY

QUANTITY ESTIMATES ON THESE PLANS ARE TO BE USED FOR PERMIT PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ACTUAL QUANTITIES FOR THE PURPOSE OF CONSTRUCTION.

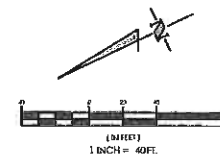
THE RAW EARTHWORK QUANTITIES SHOWN HEREON REPRESENT THE ESTIMATED VOLUMETRIC DIFFERENCE BETWEEN THE PROPOSED FINISH GRADE AND THE UNDISTURBED EXISTING GRADE. THESE ESTIMATES DO NOT TAKE CONSIDERATION FOR LOSSES OR BRUNGS DUE TO SPILLAGE, SOIL ADJUSTMENTS, STABILIZATION, CONSTRUCTION TECHNIQUE, FLOODING & WEIGHING SPILLS, ETC. THERE IS ADDITION TO ACTUAL FIELD CONDITIONS, CONSTRUCTION TECHNIQUE AND THE FINAL RECOMMENDATIONS OF THE SOILS ENGINEER MAY SIGNIFICANTLY AFFECT THE FINAL IMPORT/EXPORT QUANTITIES.

CONSTRUCTION NOTES

1. PROPOSED ASPHALT CONCRETE PAVEMENT.
2. PROPOSED PERMEABLE PAVEMENT.
3. PROPOSED 2" CONCRETE MASON CURB.
4. PROPOSED 8" CONCRETE CURB AND 12" CURB.
5. PROPOSED 8" CONCRETE CURB ONLY.
6. PROPOSED 12" STORM DRAIN.
7. PROPOSED 18" STORM DRAIN.
8. PROPOSED BASIN OUBLET STRUCTURE.
9. PROPOSED HEAD WALL AND PARALLEL PROTECTION.
10. PROPOSED 24" STORM DRAIN MANHOLE.
11. PROPOSED STORM DRAIN CHUTE TO CHECK.
12. PROPOSED RETAINING WALL.
13. PROPOSED DEEPENED FOOTING.
14. PROPOSED CURB AND CURB WITH CUTS TO ALLOW DRAINAGE TO PASS THROUGH AND SWALE.
15. PROPOSED 8" CONCRETE SIDEWALK.
16. PROPOSED 5" PERMEABLE PAVEMENT SIDEWALK.

LEGEND

	PROPOSED AC PAVEMENT
	PROPOSED PERMEABLE PAVEMENT
	PROPOSED PERMEABLE PAVEMENT
	100-YEAR FLOOD EDGE
	PROPERTY LINE
	PROPOSED RETAINING WALL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED FLOWLINE
	PROPOSED PRIVATE STORM DRAIN
	PROPOSED GRADE BREAK
	EXISTING GRADE
	PROPOSED GRADE



**** NOT FOR CONSTRUCTION ****



BUELLTON HUB
INDUSTRIAL WAY, BUELLTON, CA
PRELIMINARY GRADING AND DRAINAGE PLAN

NO.	REVISION	DATE

PROJECT MANAGER: MICHAEL HAMILTON
 DRAWN BY: ADW
 CHECKED BY: MCH
 DATE: JANUARY 9, 2018
 CDR FILE: C-20 Grading.dwg
 SDR NUMBER: 0093-01-2016
 SHEET: TM3



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THE HUMBOLDT



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Los Alamitos, CA 90720
(562) 592-5838 Fax (562) 592-6198
www.absolutesign.com
email: tish@absolutesign.com

INDUSTRIAL WAY, BUELLTON, CA 93427

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PROJECT DIRECTORY

Owner: Peter Hauber
2660 Janin Way
Solvang CA, 93463

Agent: Gavin Moores
CPDG Inc.
(805) 692-0474
gavinm@CPDGinc.com

Project Architect: DeVicente, Mills, Holliday and Associates
1 Calle Cesar Chavez #102
Santa Barbara, CA 93103
(805) 965-7777

City Planning: City of Buellton
107 West Highway 246
P.O. Box 1819
Buellton, CA 93427
T: (805) 688-5177
F: (805) 686-0086

SIGN CONSULTANT AND PREFERRED SIGN VENDOR

Absolute Sign, Inc.
10655 Humbolt Street
Los Alamitos, CA 90720
PH (562) 592-5838
FAX (562) 592-6198
Contact: Tish Scialampo

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INTRODUCTION

The purpose of this sign criteria is to ensure that the signage at Buellton Hub reflects the integrity and overall aesthetic values of the Landlord and the City of Buellton. Conformity with this criteria will be strictly enforced and any non-conforming signs will be removed by the Landlord at the expense of the Tenant.

LANDLORD/TENANT REQUIREMENTS

1. Each Tenant shall submit to Landlord for written or digital email approval, three (3) copies of the detailed shop drawings of this proposed sign, indicating conformance with the sign criteria herein outlined.
2. The Landlord shall determine and approve the availability and position of a Tenant name on any wall and/or monument sign(s).
3. The Tenant shall pay for all signs, related materials and installation fees (including final inspection costs).
4. The Tenant shall obtain all necessary permits.
5. The Tenant shall be responsible for fulfillment of all requirements of this sign criteria.
6. It is the responsibility of the Tenant's sign company to verify all conduit and power supply locations and service access prior to fabrication.
7. Signage must be removed within 30 days of business vacancy; however the sign structure may remain (if applicable). Upon removing any sign, tenant shall, at its own expense, repair any damage created by such removal and shall place the area from which the sign was removed back to its original condition. All debris from removal shall be promptly removed from the site.
8. Maintenance or outages shall be addressed within (7) working days by tenant. Maintenance shall include, but not be limited to, burned out lights, broken sign faces or sign structures, peeling paint, and weathered or discolored sign faces or structures. (Ord. 06-12 § 8, 2006; Ord. 94-13, 1994; prior code § 19.04.174).

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SIGN DESIGN

All signs shall be of professional graphic and construction quality. Lettering and graphical elements of signs shall be legibly designed and produced. Signs shall be designed with scale and proportion appropriate for the size of the site and buildings. Each sign shall also be compatible and in harmony with the architectural design elements of the structure to which it principally relates, and the surrounding environment. All signs shall comply with the requirements of the community design guidelines.

GENERAL SIGN CONSTRUCTION REQUIREMENTS:

The Tenant's sign contractor is responsible for the following:

1. Signs must be fabricated of durable appropriate weather resistant materials complimentary to the original building materials.
2. Metals that are not similar, used in sign fabrication shall be separated with non-conductive gaskets to avoid electrolysis. Additionally, stainless steel fasteners shall be used to attach metals that are not similar.
3. All penetrations of the building structure required for sign installation shall be sealed in a watertight condition and shall be patched to match adjacent finish.
4. Colors, materials and finishes shall match those submitted to and approved by the Landlord.
5. All visible welds and seams shall be ground smooth and primed before painting.
6. Fasteners, rivets, screws or other attachment devices shall not be visible from any public vantage point.

7. Finished metal surfaces shall be free from canning and warping. All paint and other finishes shall be free of dust, orange peel, drips, runs and shall have a uniform surface conforming to the highest industry standards.

8. In no case shall any manufacturer's or UL label be visible from the street or from normal viewing angles, except those required by local ordinance.

9. Exposed junction boxes, lamps, tubing or neon crossovers of any type are not permitted.

INSTALLATION:

The Tenant's sign installer will provide the following:

1. Provide the Landlord with an original certificate of insurance naming the Landlord as an additional insured for liability coverage in an amount required by Landlord.
2. Obtain all required sign permits from the City of Buellton, California and deliver or email copies to the Landlord before installing the sign(s).
3. Keep a Landlord approved set of sign drawings on site when installing the sign(s).
4. Warrant the sign(s) against latent defects in materials and workmanship for a minimum of one (1) year.

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TEMPORARY SIGNS:

1. Temporary business signs, including banners, may be displayed up to four times per calendar year for a cumulative total of sixty (60) days. All temporary business signs require approval of a no-fee zoning clearance (Section 19.08.100) in order to verify that the following criteria are met:

- a. The temporary sign shall not exceed an area of thirty (30) square feet;
- b. The temporary sign shall be affixed to a building;
- c. The temporary sign shall not exceed the roof eave line of the building to which it is affixed, but in no case shall the temporary sign be higher than thirty (30) feet.
- d. The temporary sign shall be made of durable material, shall be properly affixed to the building so that wind and other outside elements do not damage or cause the temporary sign to fall into disrepair, and shall be professionally constructed.

Exceptions

Temporary signs may also be displayed during the following times that do not count towards the time limitations of subsection (4)(a). These signs shall follow the temporary sign criteria of subsection (4)(a)(i) through (iv).

- a. Temporary business signs may be in place for four days during any of the ten federal holidays, which include New Year's Day, Martin Luther King Jr. Day, President's Day, Memorial Day, Independence Day, Labor Day, Columbus Day, Veteran's Day, Thanksgiving, and Christmas.

- b. Temporary business signs for the grand opening of a business may be in place for a maximum of thirty (30) continuous days.

- c. Other temporary signs to announce community or nonprofit events (such as car shows, wine festivals, fundraisers etc.) may be allowed up to four weeks prior to the event and must be removed within two days after the event.

PROHIBITED SIGNS

1. Animated Signs. Signs that are moving, flashing, blinking, reflecting, glaring or revolving, except time and temperature signs.

2. Handbills/Flyers. Announcements or posters attached to utility poles, trees, fence posts, and other fixed structures, or placed on the windshields of parked cars.

3. Inflatable Signs. Blimps, balloons, inflatable representations of products, motion picture or television characters, and similar lighter-than-air or inflated advertising devices.

4. Obscene Signs. Signs that contain indecent or immoral language or graphics, as provided by Section 313 of the California Penal

5. Sandwich Boards. Portable A-framed signs located in the public right-of-way are prohibited.

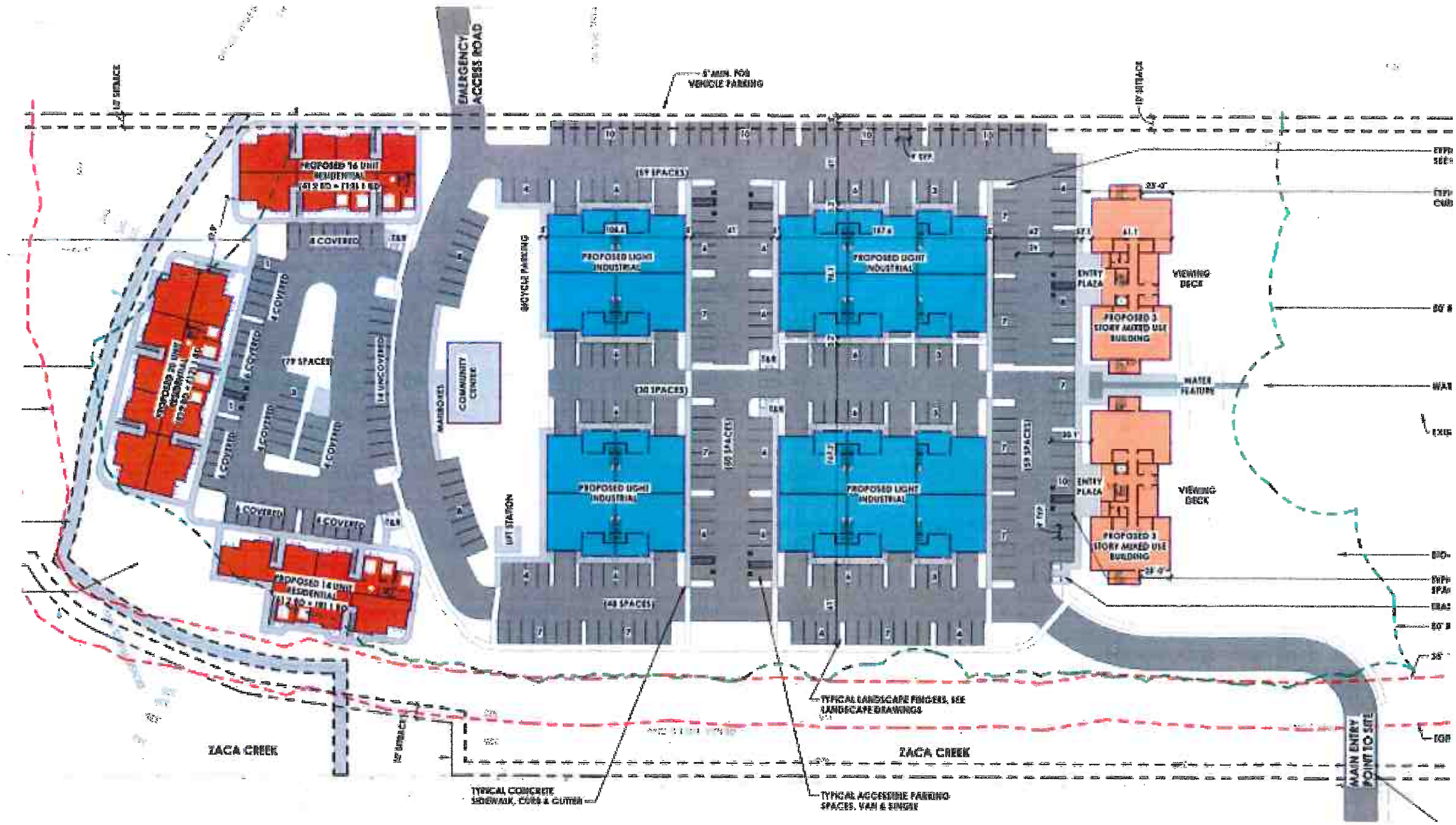
6. Political billboard signs.

WINDOW DISPLAY GRAPHICS:

Signs painted on or applied to business windows, facing a public street frontage. The aggregate area of such signage shall not exceed twenty-five (25) percent of the window surface area (e.g., gold leaf lettering).

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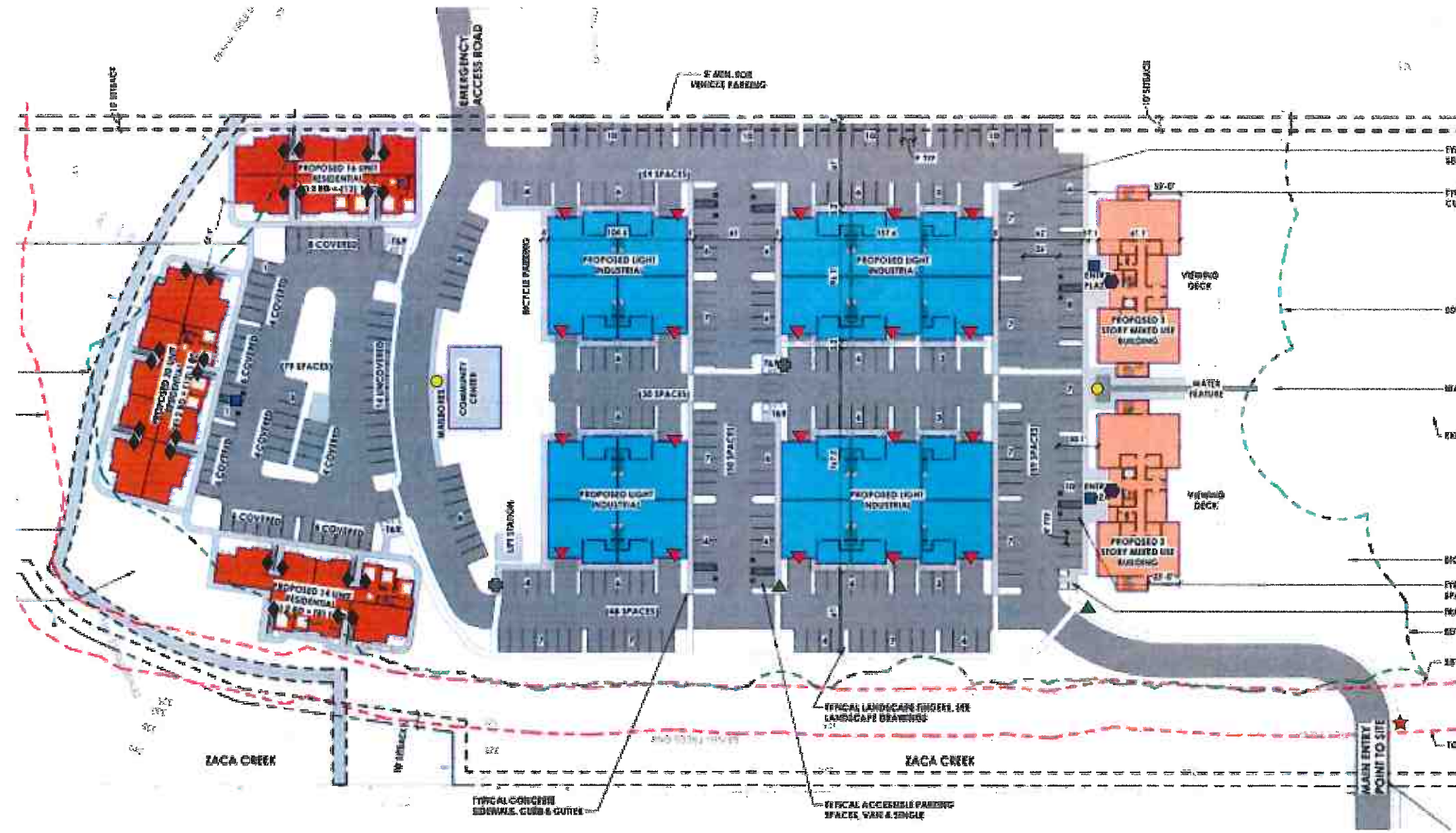
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	Residential Unit Numbers		Primary Project ID Signs		Channel Letter Wall Sign
	Building Directory Sign		Vehicular Wayfinding / LG		Blade Sign
	Building Monument Sign		Vehicular Wayfinding / SM		

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PROJECT SIGN LIST

- 1 EA. PRIMARY ID SIGN**
- 2 EA. LARGE VEHICULAR WAYFINDING SIGN**
- 2 EA. SMALL VEHICULAR WAYFINDING SIGN**
- 1 EA. RESIDENTIAL DIRECTORY**
- 2 EA. BUSINESS HUB DIRECTORIES**
- 2 EA. BUSINESS HUB CHANNEL LETTER SIGNS**
- 1 EA. COMMUNITY CENTER WALL MOUNTED SIGN**
- 1 EA. BUSINESS HUB MONUMENT SIGN**

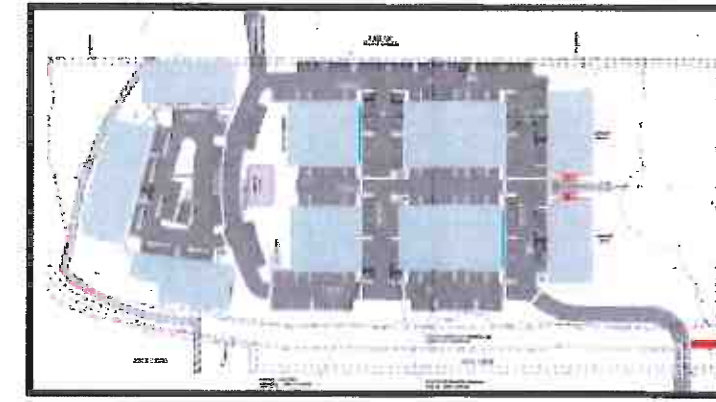
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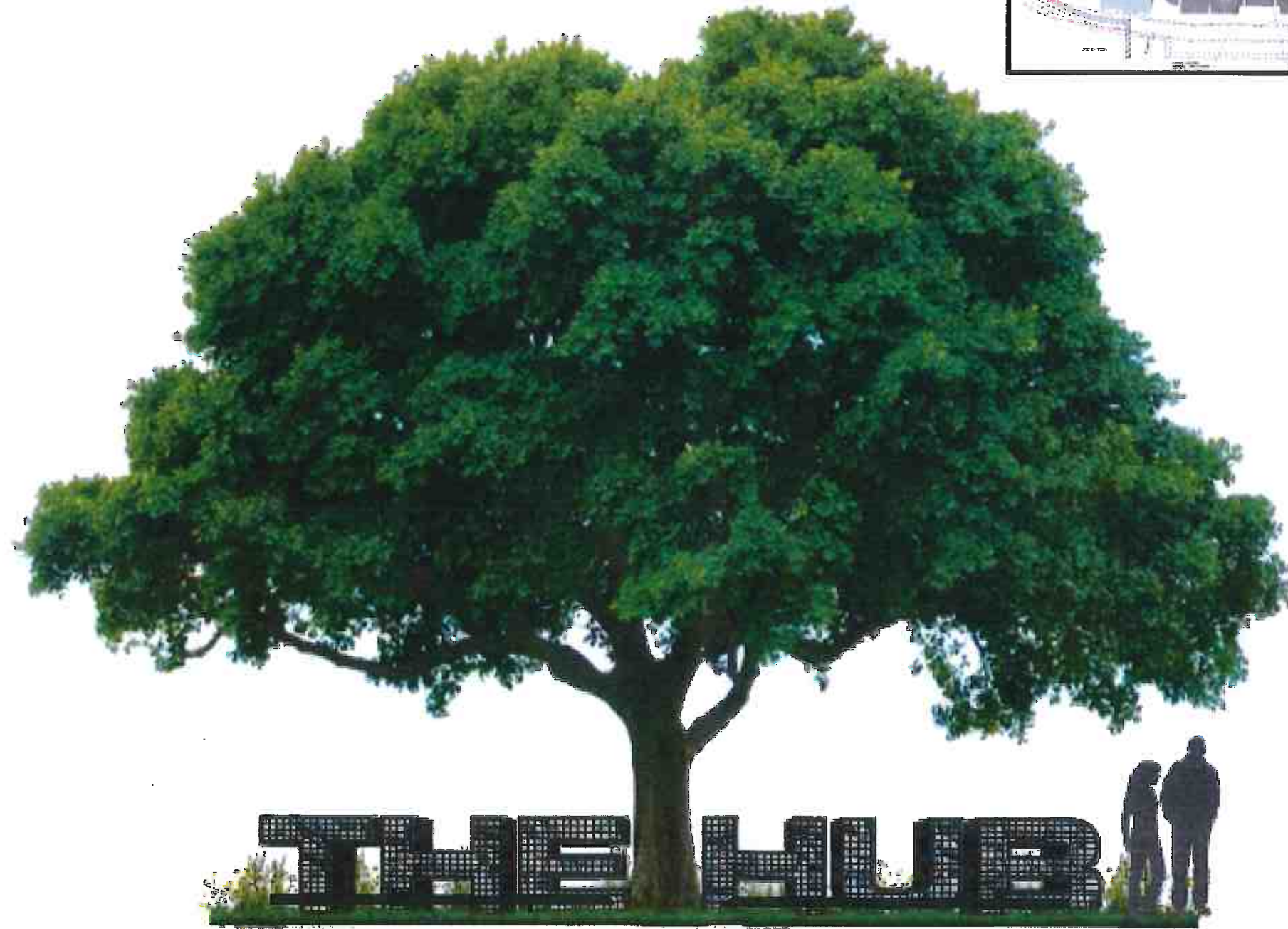
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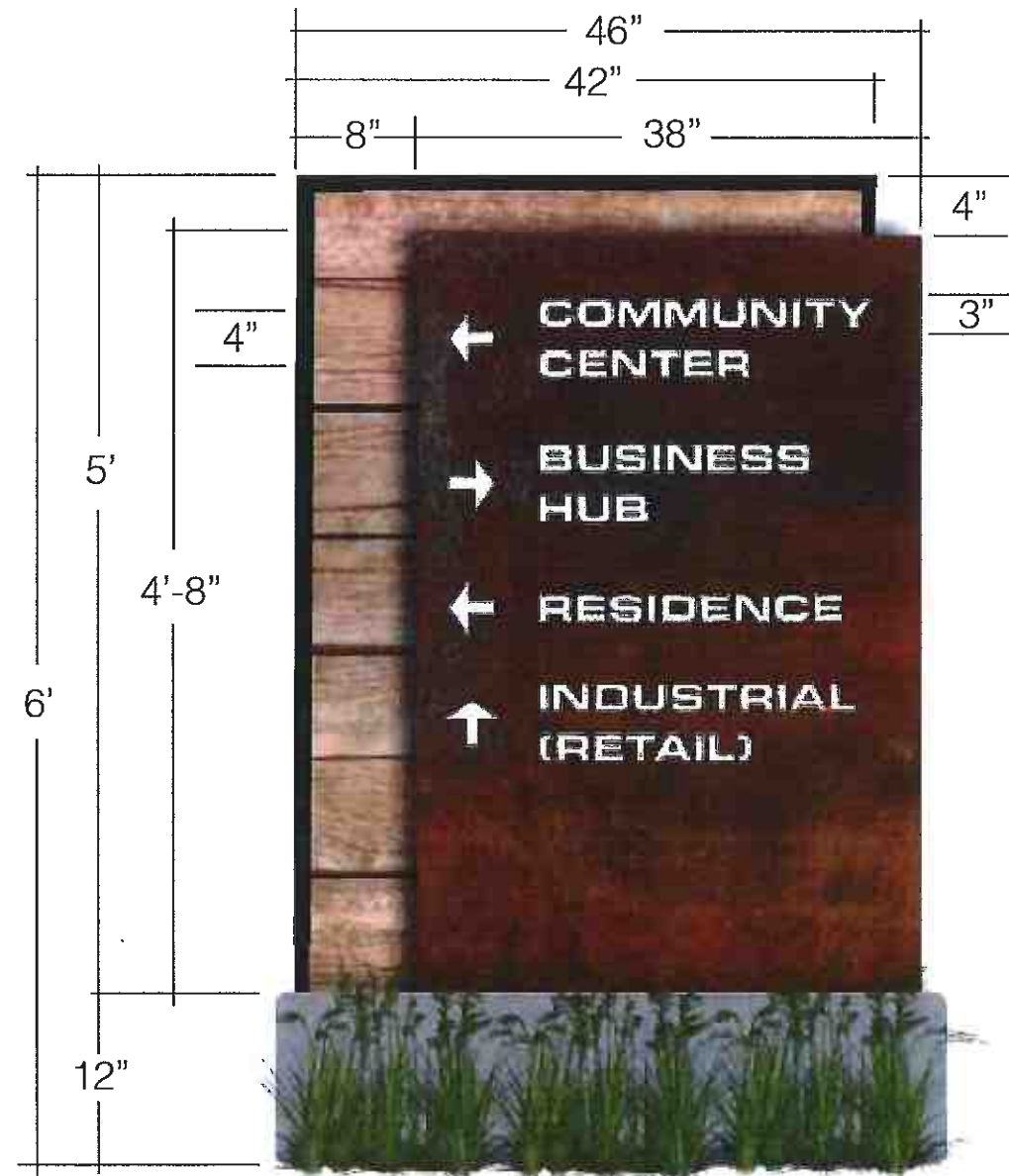


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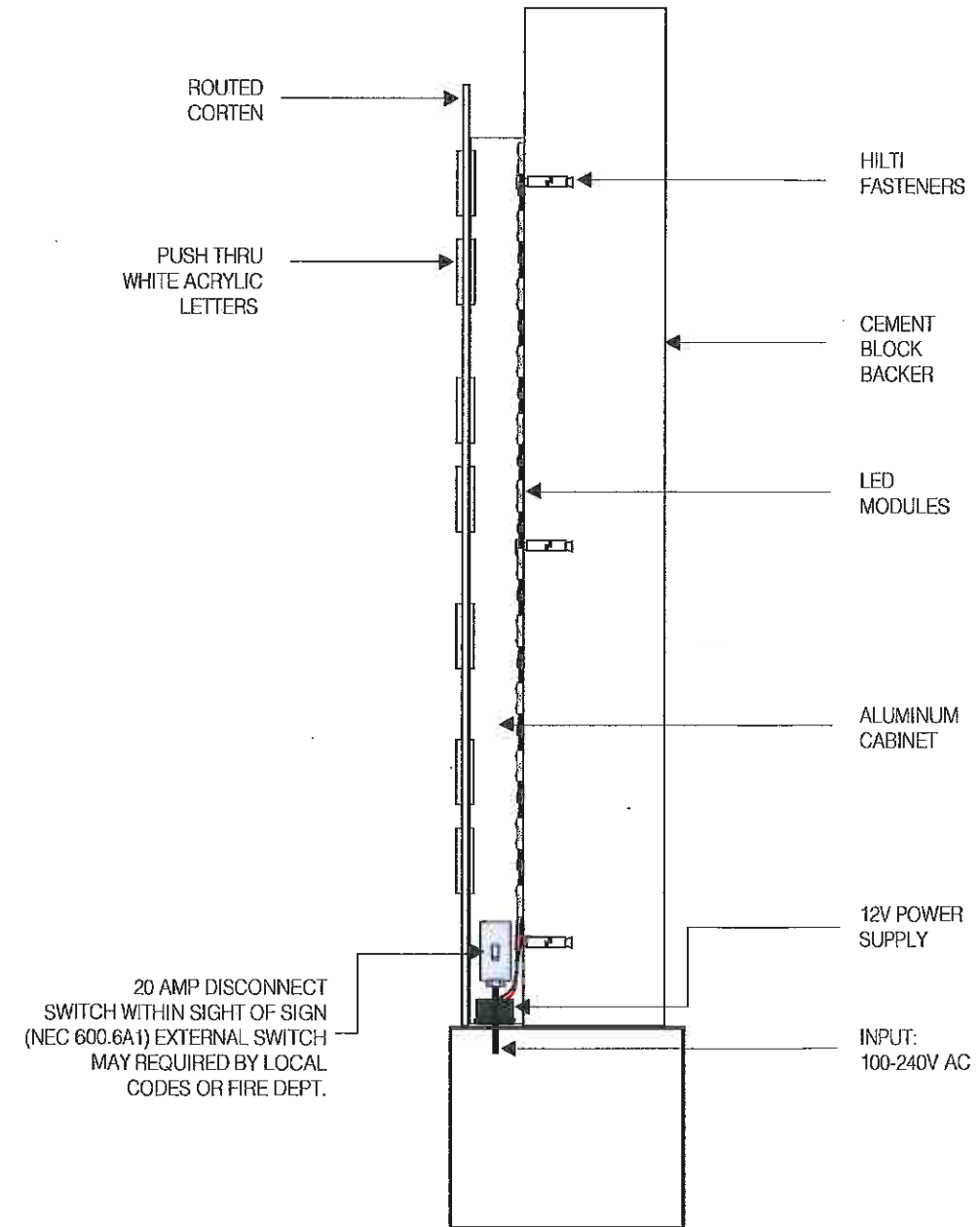
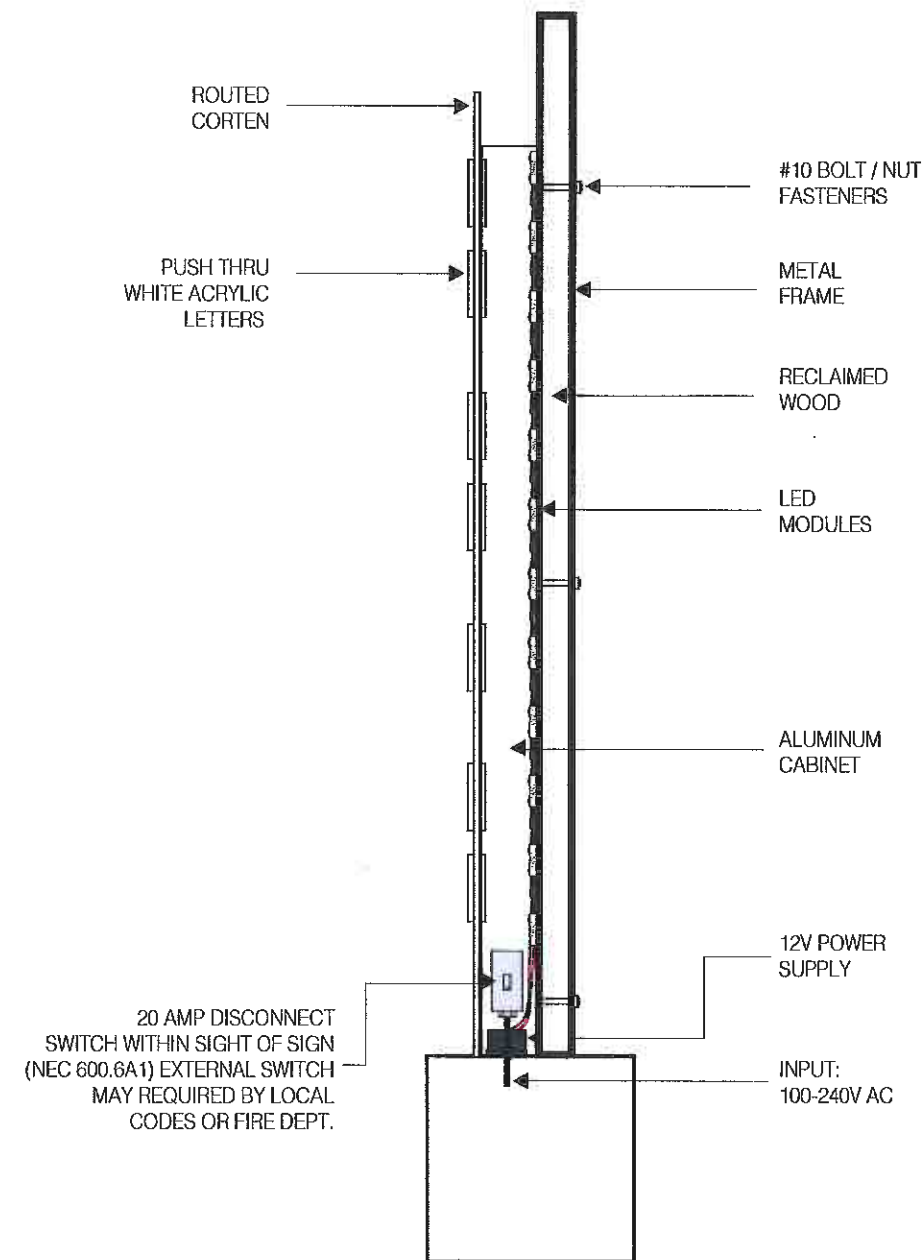
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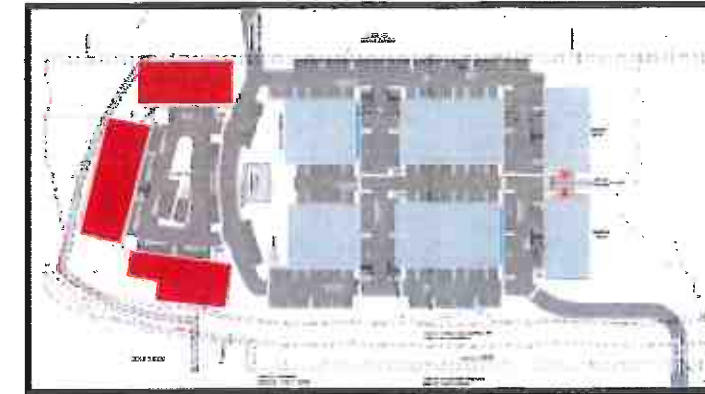
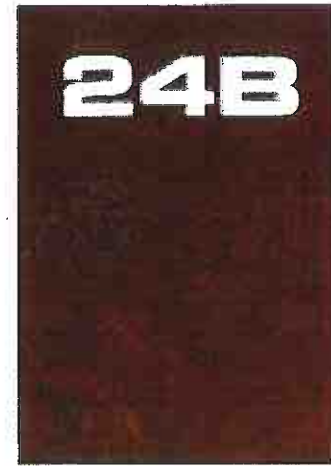
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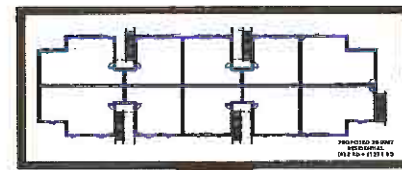
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EXAMPLE: ADDRESS ID



EXAMPLE: RESIDENCE DIRECTORY



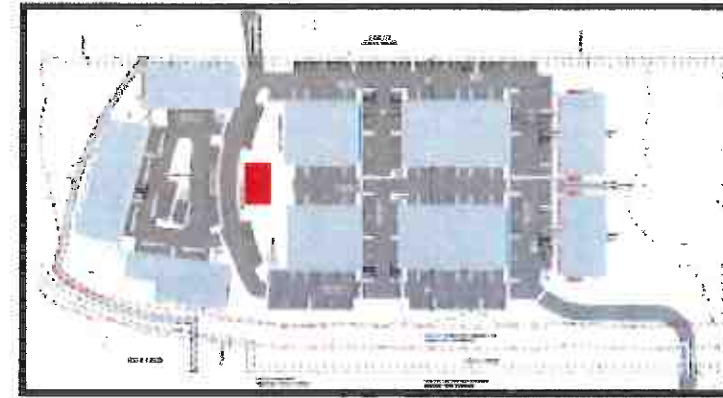
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TENANT IDENTIFICATION BLADE SIGN - INDUSTRIAL/RETAIL:

The intent of this criteria is to encourage creativity to ensure the individuality of each tenant sign as opposed to similar sign design, construction and colors repeated throughout the project. Signs must be architecturally compatible with the entire center. Individual tenant type styles shall be allowed. If no tenant type styles exist, the project type style "EUROSTILE Bold" shall be used. Tenant sign colors are tenants option with Landlord approval.

Example of Project Type Style - EUROSTILE - Bold - Extended

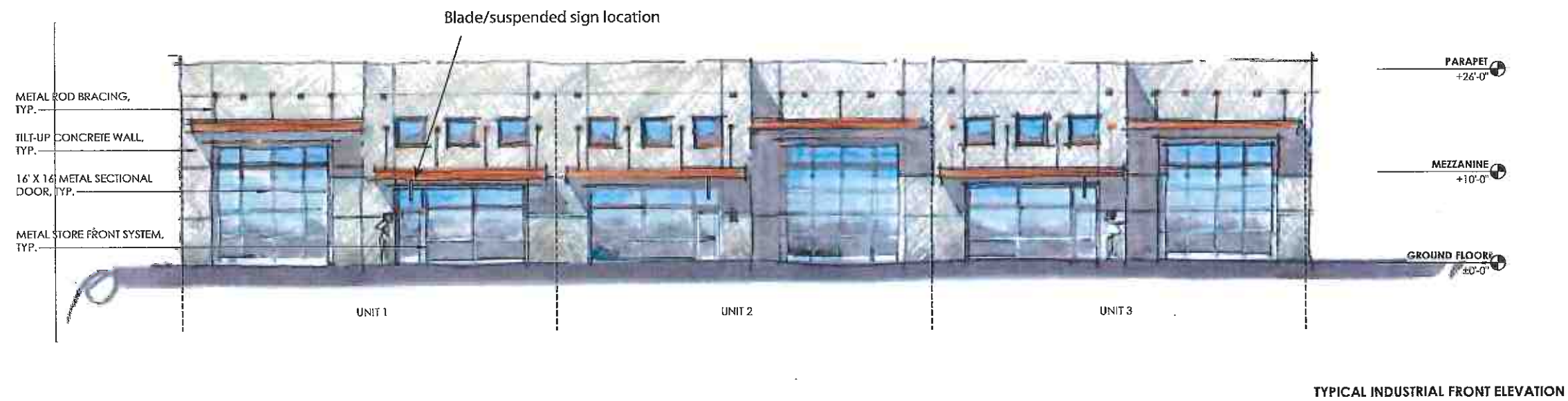
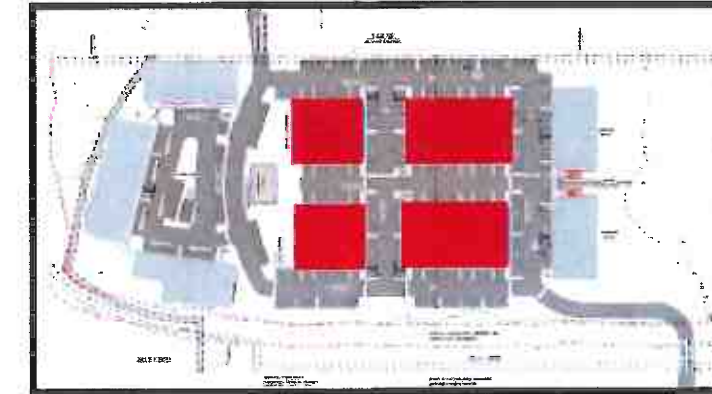
ABCDEFGHIJKLMNOPQRSTUVWXYZ
abcdefghijklmnopqrstuvwxy 1234567890

- Content: Tenant business name and logo.
- Sign Type: Blade sign fabricated from aluminum or reclaimed wood and steel.
- Size: Six square feet in area and located over business entrance.
- Copy: Signs shall be designed with scale and proportion appropriate for the size of the letters and logo elements to be flat cutout or three dimensional, painted and mechanically fastened to sign.
- Colors: Signs may incorporate regionally and nationally recognized logo colors. Face color pending Landlord approval, unless trademarked or nationally recognized brand states otherwise.
- Illumination: Down facing lights, LED
- Installation: Blade sign will be mounted to the front fascia of the building and below the canopy.

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EXAMPLES: BLADE/SUSPENDED SIGN



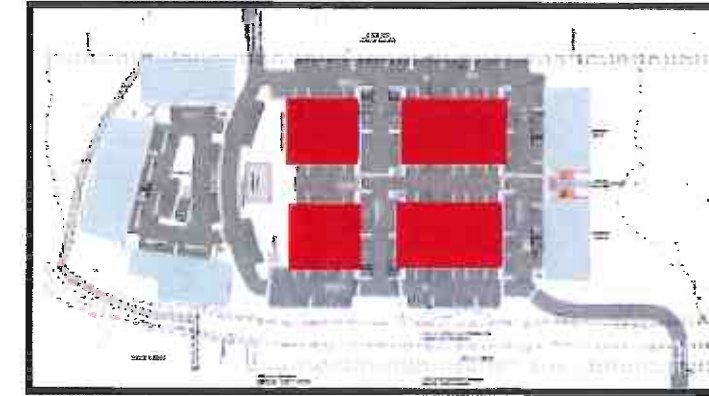
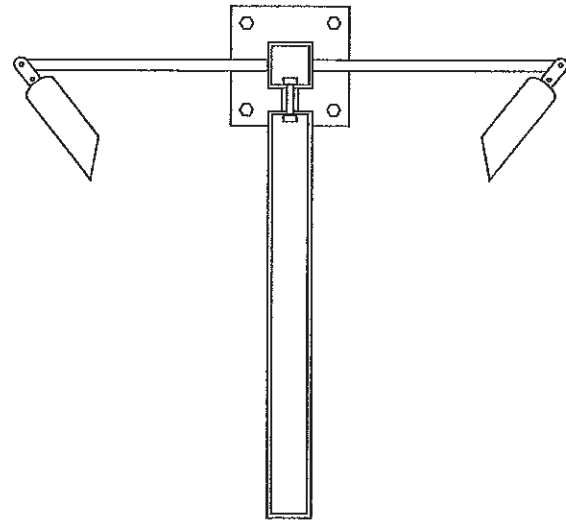
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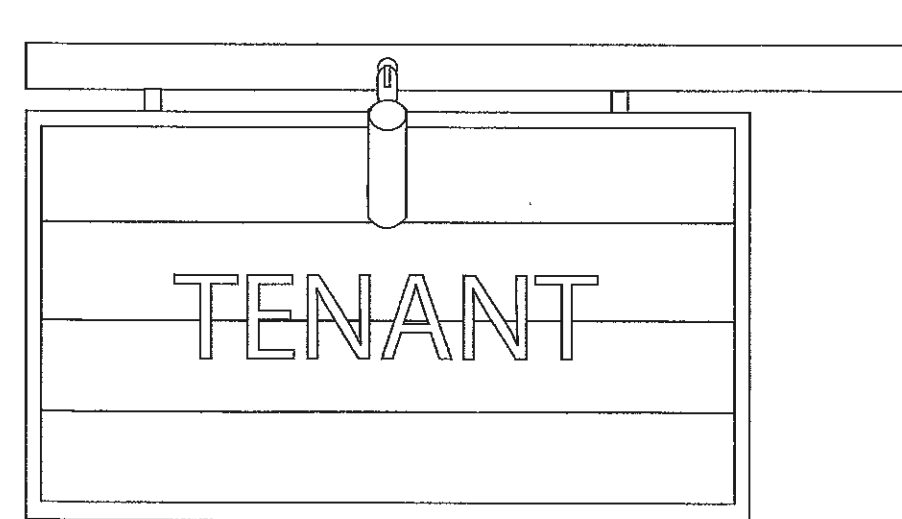
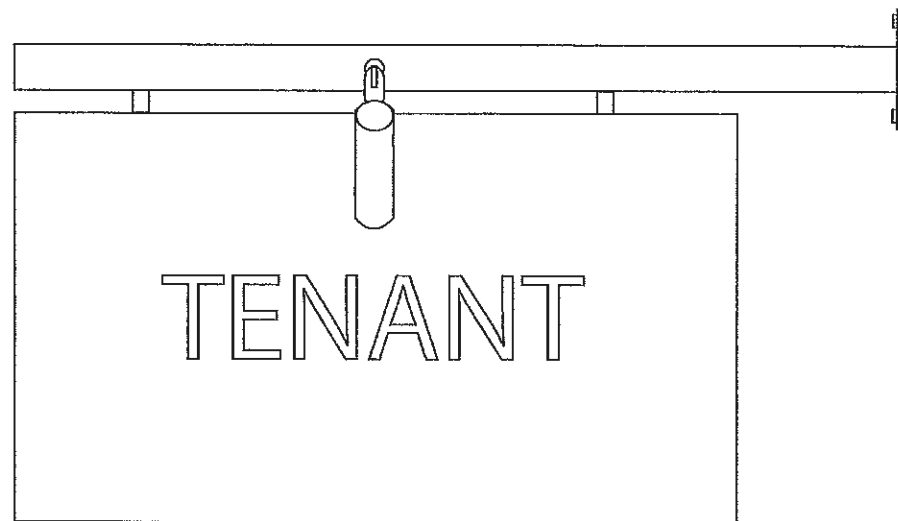
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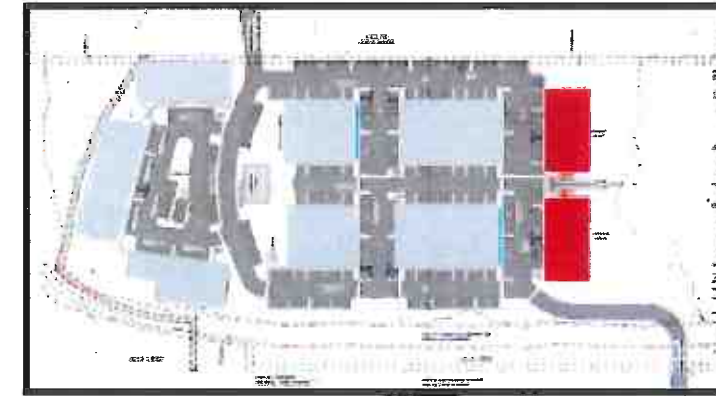
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EXAMPLES: BUSINESS HUB FRONT ILLUMINATED CHANNEL LETTERS MOUNTED TO CANOPY/RAIL

THE HUB

chillbox



EXAMPLES: BUSINESS HUB FRONT ILLUMINATED CHANNEL LETTERS WITH WOOD BACKER

THE HUB
THE HUB

VETERINARIAN



EXAMPLES: DIRECTORY SIGN



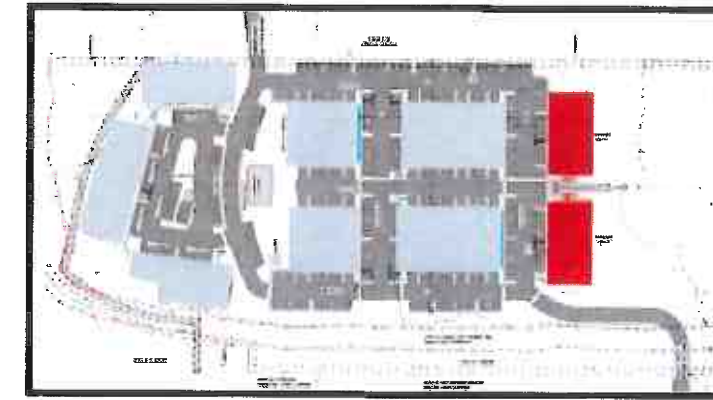
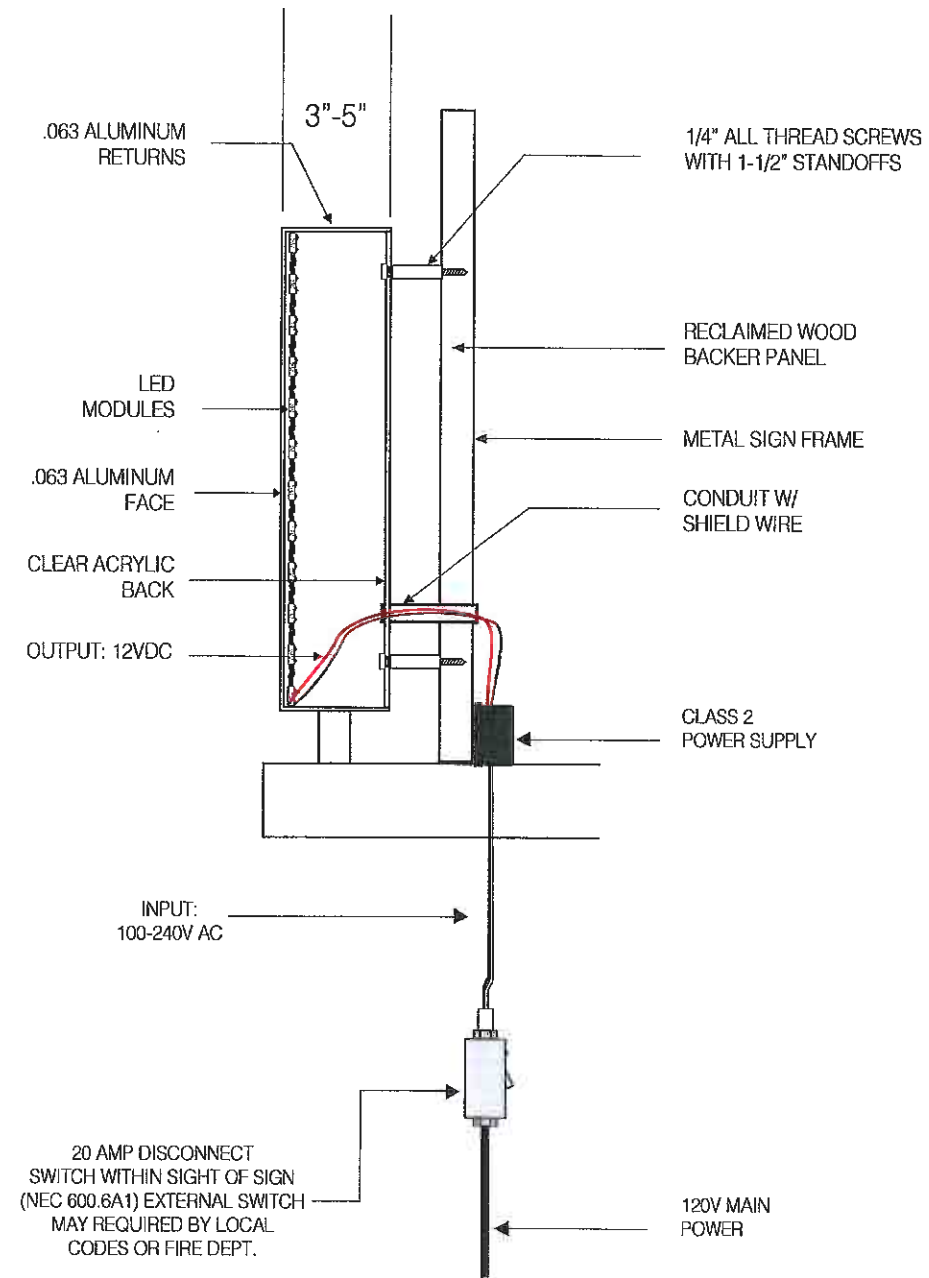
05152017

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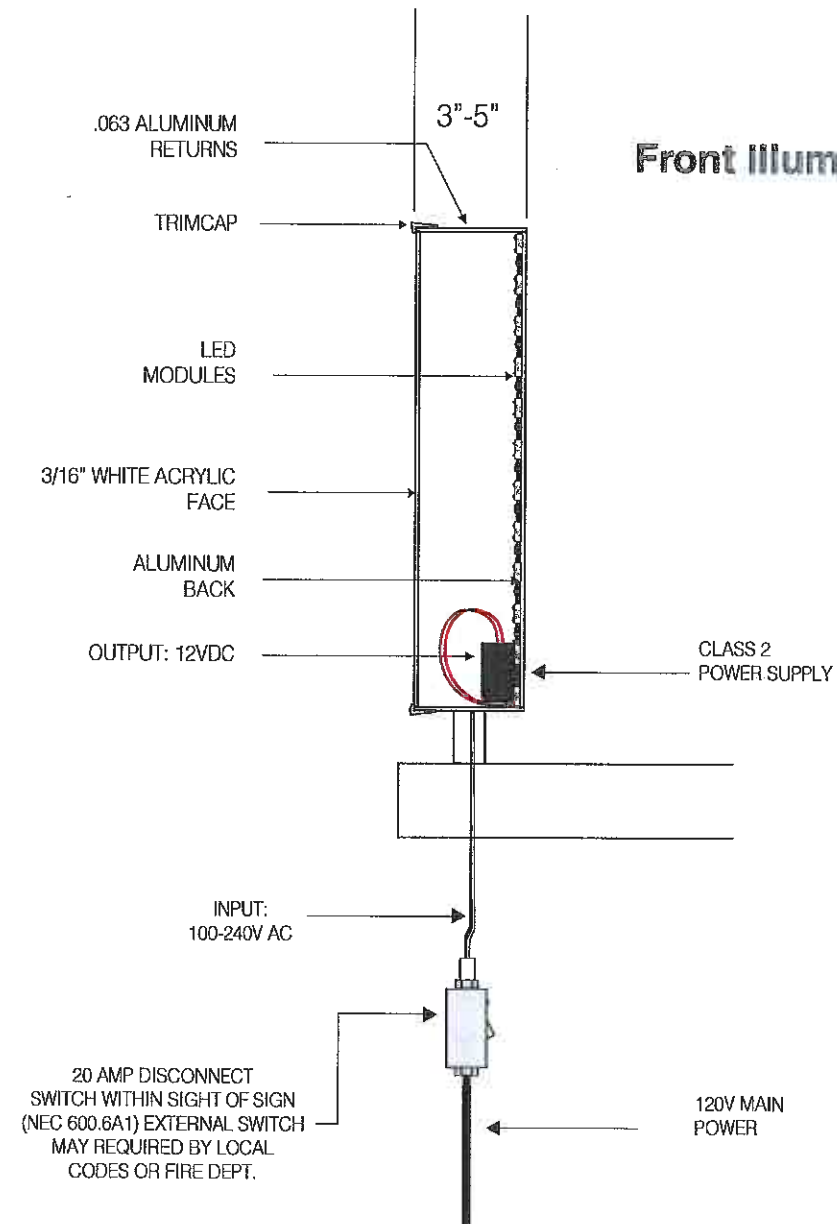
ASI
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Attachment 3

Reverse Illuminated



Front Illuminated



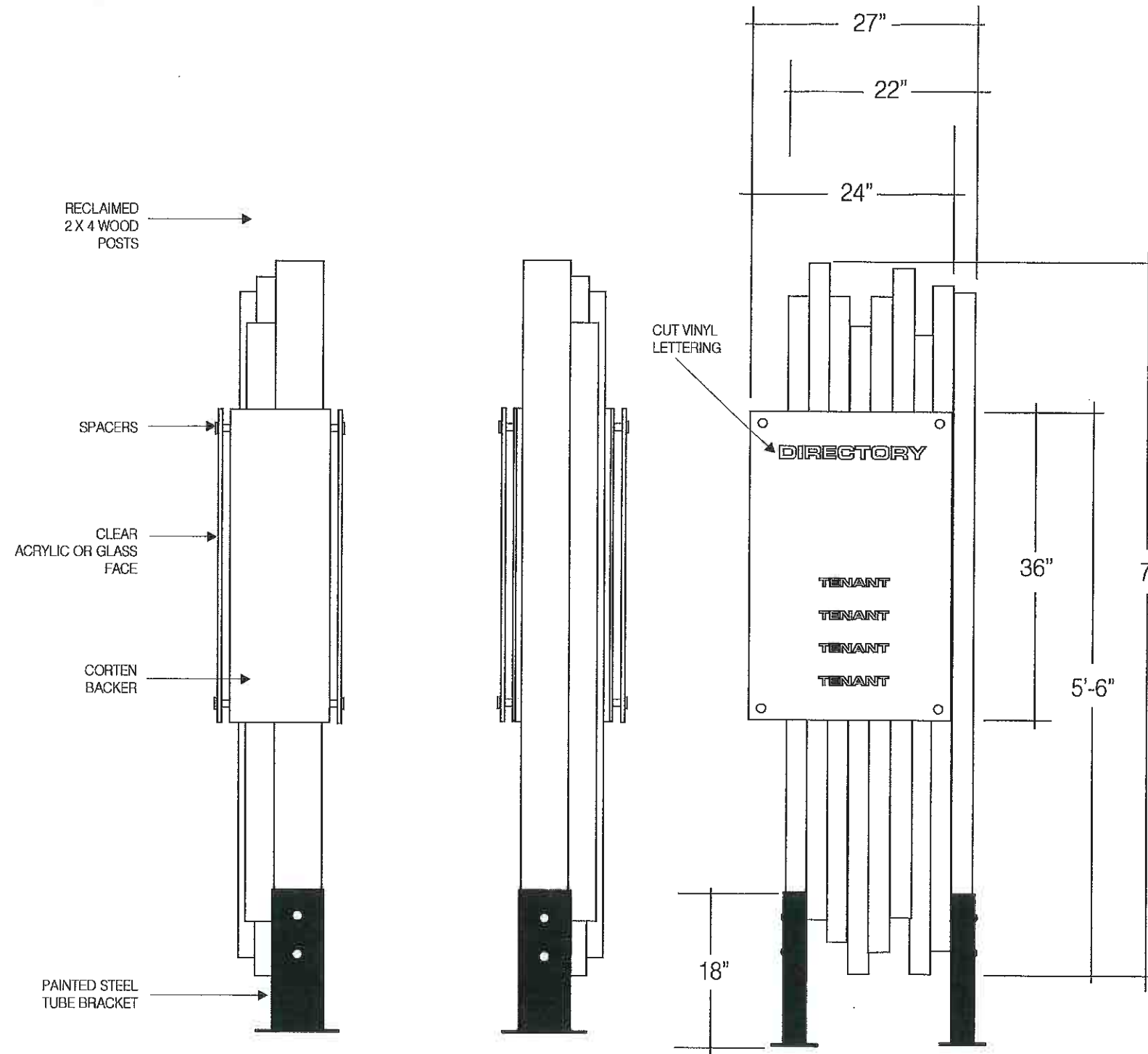
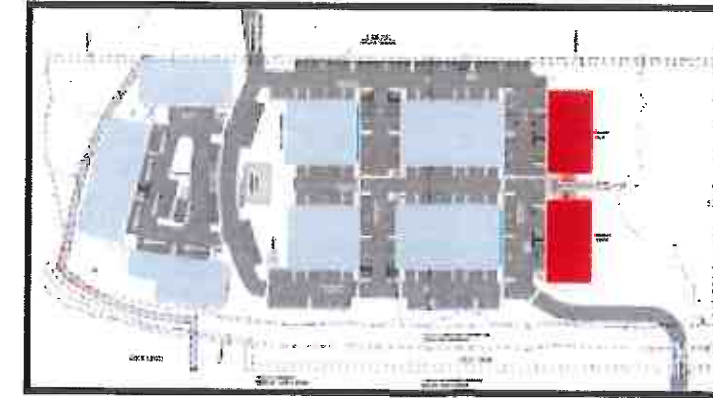
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Attachment 3

MASTER SIGN PROGRAM



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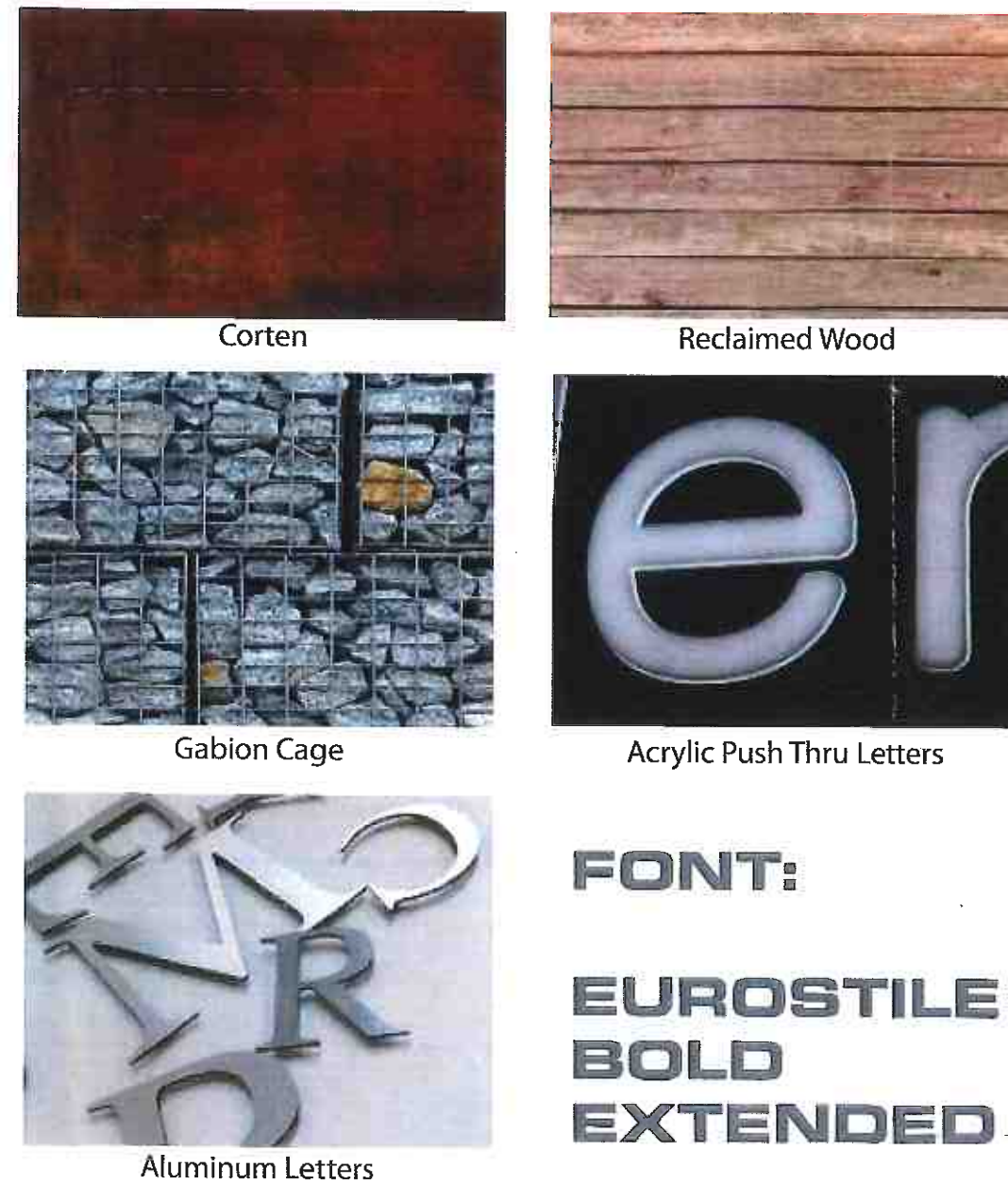
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Attachment 3

COLORS



SIGN MATERIALS



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