

# BUELLTON PRE-DESIGNED ADU PROGRAM



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM  
P: 831.227.2217

**BROCKETT  
/ARCHITECT**

104 S. MAIN ST UNIT B  
TEMPLETON, CA 93465  
BROCKITECTURE.COM

## CITY OF BUELLTON PRE-DESIGNED ADU PROGRAM

In an effort to streamline the ADU-building process, The City of Buellton has developed three Pre-Designed Detached ADU plans for homeowner use within the City. In order for a building permit to be issued, these pre-designed plans shall be submitted alongside all required application materials to the Buellton Planning Department and County of Santa Barbara Building and Safety Division for each project, and are subject to an expedited review process.

Two sizes with varying floorplans are available - a One-Bedroom Plus ADU (745 GSF), which includes a den that may be converted to a second bedroom, and a Two Bedroom ADU (1022 GSF). Two exterior architectural styles can be chosen from to best match the primary home - "Mission Revival" or "Ranch". A third plan is a garage conversion for a permitted attached or detached garage.

Foundations for each ADU are designed as typical slab on grade with monolithic footings per CRC/CBC presumptive soils values. Soils report with pad prep and foundation design recommendations are required for all sites.

## HOW TO USE THIS PLAN SET

This plan set is considered "Pre-Designed" and does not include unique project or property-specific information. This plan set is intended to be used as-designed, without modification.

To complete the drawing set prior to submitting an application, project-specific information must be provided by the property owner/applicant. All applicant-provided information will be entered on Sheets G0.0 and G0.1.

In order to receive required permits, applicants will need to submit a full application for review first to the Buellton Planning Department, and once the Zoning Clearance is approved, then to the County of Santa Barbara Building and Safety Division for the building permit. Other permits may be required, such as grading or encroachment permits. Application materials will include the Pre-Designed ADU Plan Set, a Project Application Form (City), a Building Permit Application (County), and any other supplementary application materials that may be required based on their specific property and project. Refer to the City of Buellton Planning Department to confirm parcel-specific application requirements.

The Architectural Plans, Mechanical Plans, and Title24 Energy Calculations are contained within this combined plan set. There are some options for homeowners to choose from, such as optional walls or roll-in-showers. Reference the Project Checklist on Sheet G0.0 for specific direction.

### HOW TO ENTER PROJECT-SPECIFIC INFORMATION AND APPLY FOR YOUR PERMIT

1. Enter PROJECT INFORMATION and a VICINITY MAP in the space provided on this sheet.
2. Review the drawing set.  
Mark your selected options on the PROJECT CHECKLIST on this sheet.
3. Create your site plan.  
Detailed instructions and space for your site plan are provided on Sheet G0.1.
4. Submit your application using the ADU Checklist found on the City of Buellton Planning Department website.
5. A City of Buellton representative will contact you for further information if needed or with a land use permit approval within 10 business days of submittal.
6. The Planning Department is located at BUELLTON CITY HALL:  
107 West Highway 246 Buellton, CA 93427 (805) 688-7474

## PROJECT DIRECTORY

ARCHITECT OF RECORD	CONSULTING ARCHITECT
WORKBENCH 189 Walnut Avenue Santa Cruz, CA 95060 831.227.2217 info@workbenchbuilt.com	RYAN BROCKETT ARCHITECT INC. 104 S. Main St. Unit B Templeton, CA 93565 805.400.3025 info@brockitecture.com
STRUCTURAL ENGINEER	MECHANICAL & PLUMBING ENGINEER
APPLICANT TO COORDINATE WITH LICENSED STRUCTURAL ENGINEER FOR REQUIRED STRUCTURAL DRAWINGS.	ZAL ENGINEERING 99 Pacific St, Suite #375G Monterey, CA 93940 831.641.7739 contact@zalengineering.com

## PROJECT INFORMATION

OWNER/APPLICANT:  
ENTER INFORMATION IN THE PROVIDED SPACE

PARCEL INFORMATION	
APN	
STREET ADDRESS	
CITY, STATE, ZIP	
LOT SIZE	The size of the parcel in Square Feet
PRIMARY DWELLING SIZE	The size of the existing primary dwelling in Square Feet
SIZE OF GARAGE TO BE CONVERTED	The size of the garage in Square Feet (net interior)
DIMENSIONS OF GARAGE TO BE CONVERTED	<input type="text"/> x <input type="text"/> The length by width of garage in linear feet and inches
ATTACHED GARAGE?	<input type="checkbox"/> YES <input type="checkbox"/> NO
PARCEL IN SRA ZONE?	<input type="checkbox"/> YES <input type="checkbox"/> NO
PARCEL WITHIN FEMA FLOOD HAZARD ZONE?	<input type="checkbox"/> YES <input type="checkbox"/> NO
PROJECT INFORMATION	
OCCUPANCY GROUP - R3	TYPE OF CONSTRUCTION - STANDARD/TYPE V-B
MAIN RESIDENCE HAS FIRE SPRINKLERS	<input type="checkbox"/> YES <input type="checkbox"/> NO If Yes, ADU required to have fire sprinklers
ADU FIRE SPRINKLERS REQUIRED	<input type="checkbox"/> YES <input type="checkbox"/> NO
PROPERTY OWNER	
NAME	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	
PROJECT CONTRACTOR	
NAME	
CA LICENSE #	
ADDRESS	
CITY, STATE, ZIP	
PHONE/EMAIL	

## ADDITIONAL REQUIREMENTS - GARAGE CONVERSION ADU

PLANNING DEPARTMENT	BUILDING DEPARTMENT
MATERIALS MANAGEMENT PLAN CAN & WILL SERVE LETTER ADDRESS APPLICATION DEED RESTRICTION	STRUCTURAL DRAWING SET, PREPARED AND STAMPED BY A CALIFORNIA LICENSED STRUCTURAL ENGINEER 1. If garage previously permitted, provide a copy of existing floor plan and ceiling framing plan/information. Include permit number for existing garage. 2. If unpermitted, completed a set of construction drawings to permit garage under the current building codes for conversion to habitable space. 3. Applicant to provide code compliant ceiling framing information and code compliant roof/ceiling assembly.  TITLE 24 COMPLIANCE DOCUMENTATION 1. Applicant to provide Title 24 energy compliance documentation

## PROJECT CHECKLIST

CLEARLY MARK THE BOX FOR EACH SELECTION

GARAGE DOOR INFILL DESIGN (SELECT ONE PLAN AND THEN ONE ASSOCIATED ELEVATION)	
Use Sheets G0.0, G0.1, G1.0, G2.0, G2.1, A1.0, A1.1, A4.0, A5.0, A5.2 for "STANDARD" Design Option.	Use Sheets G0.0, G0.1, G1.0, G2.0, G2.1, A1.0R, A1.1R, A4.0, A5.0, A5.2 for "REVERSE" Design Option.
<input type="checkbox"/> STANDARD PLAN	<input type="checkbox"/> REVERSE PLAN
<input type="checkbox"/> ELEVATION ONE - STANDARD	<input type="checkbox"/> ELEVATION ONE - REVERSE
<input type="checkbox"/> ELEVATION TWO - STANDARD	<input type="checkbox"/> ELEVATION TWO - REVERSE
<input type="checkbox"/> ELEVATION THREE - STANDARD	<input type="checkbox"/> ELEVATION THREE - REVERSE
<input type="checkbox"/> ELEVATION FOUR - STANDARD	<input type="checkbox"/> ELEVATION FOUR - REVERSE
INTERIOR FINISHES (SELECT CHOICES, IF OPTION IS CHOSEN)	
<input type="checkbox"/> OPTIONAL MILLWORK AT LIVING ROOM	Must be 6' tall and 50% open to the living room.
CODE COMPLIANCE (CHECK APPLICABLE)	
<input type="checkbox"/> EXT. WALL LESS THAN 5' OF PROPERTY LINE	Within 0'-5' of Property Line, the wall assembly shall be 1-Hour Rated. Within 3'-5' of the Property Line, the area of openings shall be limited to 25% of the wall area. Less than 3' of the Property Line, exterior openings shall not be permitted.
<input type="checkbox"/> EXT. WALL WITHIN 0-3' OF PROPERTY LINE	
OWNER REQUIREMENTS - COMPLETE PLAN SET	
<input type="checkbox"/> OWNER PROVIDED SITE PLAN COMPLETE	Complete Sheet G0.1, Owner-Provided Site Plan
<input type="checkbox"/> STRUCTURAL DRAWING SET	Provided by CA Licensed Structural Engineer

## SCOPE OF WORK - GARAGE CONVERSION ADU

CONVERSION OF AN EXISTING PERMITTED GARAGE INTO A HABITABLE ADU. EXTERIOR SCOPE IS ALL LOCATED AT THE LOCATION OF THE EXISTING OVERHEAD DOORS, WITH NO ADDITIONAL OPENINGS CREATED. INTERIOR SCOPE INCLUDES CREATION OF BATHROOM, KITCHEN, AND INTERIOR WALLS WITHIN EXISTING FOOTPRINT. SHOULD OWNER WANT TO ADD ADDITIONAL OPENINGS, STRUCTURAL DRAWINGS WOULD BE REQUIRED.

## VICINITY MAP

NOT TO SCALE

INSERT MAP SHOWING VICINITY OF PROJECT HERE, INCLUDING NEARBY STREETS

## DRAWING INDEX

GENERAL SHEETS	
G0.0	PROJECT INFORMATION - GARAGE CONVERSION
G0.1	OWNER-PROVIDED SITE PLAN - GARAGE CONVERSION
G1.0	GENERAL NOTES - GARAGE CONVERSION
G2.0	CALGREEN REQUIREMENTS - GARAGE CONVERSION
G2.1	CALGREEN REQUIREMENTS - GARAGE CONVERSION
ARCHITECTURAL	
A1.0	GARAGE - FLOORPLAN, RCP & ELECTRICAL PLAN
A1.0R	GARAGE REVERSE - FLOORPLAN, RCP & ELECTRICAL PLAN
A1.1	GARAGE STANDARD - EXTERIOR ELEVATION OPTIONS
A1.1R	REVERSE - EXTERIOR ELEVATION OPTIONS
A4.0	WINDOW & DOOR TYPES, LIGHTING & APPLIANCE SCHEDULES
A5.0	EXTERIOR DETAILS - GENERAL
A5.2	INTERIOR DETAILS & WALL PARTITIONS
STRUCTURAL	
S0.0	APPLICANT PROVIDED - STRUCTURAL NOTES
S0.1	APPLICANT PROVIDED - TYPICAL DETAILS
S1.0	APPLICANT PROVIDED - EXISTING GARAGE FRAMING PLAN AND SECTION
S2.0	APPLICANT PROVIDED - FOUNDATION DETAILS
S2.1	APPLICANT PROVIDED - FRAMING PLAN AND DETAILS
MECHANICAL AND PLUMBING	
MPO.1	GENERAL NOTES - MECHANICAL/PLUMBING
MPO.2	SCHEDULES AND DETAILS
MP2.1	STANDARD - MECHANICAL AND PLUMBING PLANS
MP2.1 R	REVERSE - MECHANICAL AND PLUMBING PLANS
ENERGY COMPLIANCE/TITLE 24	
T24GC.1	APPLICANT PROVIDED - TITLE 24 FORMS - GARAGE CONVERSION

## DEFERRED SUBMITTALS

PHOTOVOLTAIC SYSTEM, IF REQUIRED. UNDER SEPARATE PERMIT AND INSTALL PRIOR TO OCCUPANCY.

FIRE SPRINKLERS (WHERE REQUIRED - REFER TO BUILDING DEPT.) MUST BE SUBMITTED AND APPROVED BY COUNTY FIRE PRIOR TO REQUEST FOR FRAMING INSPECTION.

## BUILDING CODES USED

1. 2022 CALIFORNIA BUILDING CODE
2. 2022 CALIFORNIA RESIDENTIAL CODE
3. 2022 CALIFORNIA ELECTRICAL CODE
4. 2022 CALIFORNIA PLUMBING CODE
5. 2022 CALIFORNIA MECHANICAL CODE
6. 2022 CALIFORNIA FIRE CODE
7. 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
8. 2022 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE
9. SANTA BARBARA COUNTY ORDINANCE 5092

BY USING THESE PRE-DESIGNED ADU PLANS, THE RECIPIENT IS ACKNOWLEDGING ACCEPTANCE OF THE FOLLOWING CONDITIONS.

1. THE USE OF THIS INFORMATION IS RESTRICTED TO THE ORIGINAL PROJECT FOR WHICH IT WAS PREPARED (THE PRE-DESIGNED ADU PLANS FOR THE CITY OF BUELLTON CALIFORNIA). USE OF THESE PLANS DOES NOT ELIMINATE OR REDUCE THE RECIPIENT'S RESPONSIBILITY TO VERIFY ANY AND ALL INFORMATION RELEVANT TO THE RECIPIENT'S WORK AND RESPONSIBILITY ON THIS PROJECT. WORKBENCH AND/OR THE CITY OF BUELLTON SHALL NOT BE RESPONSIBLE FOR TRANSLATION ERRORS.

2. THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR THE CITY OF BUELLTON. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF BUELLTON HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.

3. THE DESIGNS REPRESENTED BY THESE PLANS ARE COPYRIGHTED AND SUBJECT TO COPYRIGHT PROTECTION. IF THE RECIPIENT DOES NOT AGREE WITH THE ABOVE CONDITIONS, THE RECIPIENT SHOULD NOT PROCEED BEYOND THIS DISCLAIMER.

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ADU PROGRAM  
GARAGE CONVERSION  
ADU

PRINT DATE: 1.25.2024

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PROJECT  
INFORMATION -  
GARAGE  
CONVERSION

G0.0

SCALE: AS NOTED

# HOMEOWNER PROVIDED SITE PLAN

INSERT A DIMENSIONED AND SCALED SITE PLAN FOR THE PROJECT PROPERTY INTO THE BLANK SPACE ON THIS SHEET. USE THE CHECKLIST BELOW TO ENSURE ALL REQUIRED INFORMATION IS INCLUDED.



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- THE RECIPIENT RECOGNIZES AND ACKNOWLEDGES THAT THE USE OF THIS INFORMATION WILL BE AT THEIR SOLE RISK AND WITHOUT ANY LIABILITY OR LEGAL EXPOSURE TO WORKBENCH OR THE CITY OF BUELLTON. NO WARRANTIES OF ANY NATURE, WHETHER EXPRESS OR IMPLIED, SHALL ATTACH TO THESE DOCUMENTS AND THE INFORMATION CONTAINED THEREON. ANY USE, REUSE, OR ALTERATION OF THESE DOCUMENTS BY THE RECIPIENT OR BY OTHERS WILL BE AT THE RECIPIENT'S RISK AND FULL LEGAL RESPONSIBILITY. FURTHERMORE, THE RECIPIENT WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD WORKBENCH AND THE CITY OF BUELLTON HARMLESS FROM ANY AND ALL CLAIMS, SUITS, LIABILITY, DEMANDS, JUDGEMENTS, OR COSTS ARISING OUT OF OR RESULTING THERE FROM ON ACCOUNT OF ANY INJURY, DEATH, DAMAGE OR LOSS TO PERSONS OR PROPERTY.
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NOT FOR CONSTRUCTION

### SITE PLAN CHECKLIST

THE OWNER SHALL PROVIDE A DIMENSIONED AND SCALED SITE PLAN SHOWING THE BELOW INFORMATION. THIS CHECKLIST IS PROVIDED TO HELP GUIDE YOU THROUGH THE CREATION OF YOUR PROPERTY'S SITE PLAN.

SITE PLAN INFORMATION	EXPLANATION
<input type="checkbox"/> DRAWING SCALE	SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE (FOR EXAMPLE, 1/8" = 1' OR 1" = 10'). INCLUDE A LABEL WITH THIS INFORMATION ON THE SITE PLAN.
<input type="checkbox"/> PROPERTY LINES	SHOW OUTLINE OF PROPERTY USING DASHED LINE. DIMENSION EACH PROPERTY LINE WITH ITS RESPECTIVE LENGTH
<input type="checkbox"/> LABELED YARDS	LABEL FRONT, REAR, SIDE YARDS, WALKWAYS, DRIVEWAYS, AND PATIO/OUTDOOR HARDSCAPING AREAS USING TEXT. LABEL ANY PROPOSED NEW PATHWAYS, PARKING SPACES, OR ACCESS ROUTES TO THE NEW ADU.
<input type="checkbox"/> SETBACKS OF EXISTING STRUCTURE AND NEW ADU FROM PROPERTY LINE - DIMENSIONED	"SETBACK" REFERS TO THE DISTANCE BETWEEN A BUILDING AND THE PROPERTY LINE OR BETWEEN TWO BUILDINGS. USING A DIMENSION LINE, INDICATE THE DISTANCE FROM THE ADU EXTERIOR WALLS TO THE PROPERTY LINE.
<input type="checkbox"/> EASEMENTS (IF SUCH EXIST)	"EASEMENT" REFERS TO A PROPERTY RIGHT HELD BY A PARTY THAT IS NOT OWNER OF THE PROPERTY. THIS COULD INCLUDE ITEMS SUCH AS A RIGHT-OF-WAY OR UTILITY COMPANY EASEMENT.
<input type="checkbox"/> LOCATION OF EXISTING UTILITIES AND PROPOSED NEW UTILITIES	NOTE AND LABEL THE LOCATION OF ANY UTILITY POLES, OVERHEAD SERVICE DROP LOCATION, SEWER DRAINS/CLEANOUTS, ELECTRICAL PANELS, PHOTOVOLTAIC CONTROLS, AND GAS METERS/LINES WHICH EXIST ON THE PROPERTY OR ARE PROPOSED.
<input type="checkbox"/> LABELED STREETS	SITE PLAN SHOULD SHOW THE STREET EDGE WITH THE STREET NAME LABELED. LABEL EXISTING SIDEWALK AND CURBS, IF SUCH EXIST.
<input type="checkbox"/> PROPOSED LOCATION OF ADU ADDRESS NUMBERS	NOTE AND LABEL PROPOSED LOCATION OF ADU ADDRESS NUMBERS. NUMBERS SHALL BE VISIBLE FROM THE STREET, HIGH-CONTRAST, AND NO LESS THAN 4" IN HEIGHT. REFER TO CURRENT CITY OF BUELLTON ADDRESSING STANDARDS AND ADDRESS APPLICATION.
<input type="checkbox"/> FOOTPRINT OF EXISTING BUILDINGS	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE FOOTPRINT OF ALL EXISTING BUILDINGS/STRUCTURES AND ANY ATTACHED DECKS OR PORCHES, WITH THE TEXT LABEL 'EXISTING'.
<input type="checkbox"/> FOOTPRINT OF PROPOSED ADU	"FOOTPRINT" REFERS TO THE OUTLINE OF A BUILDING. SHOW THE PROPOSED LOCATION OF THE NEW ADU BY PLACING THE FOOTPRINT ON THE SITE PLAN WITH THE TEXT LABEL "PROPOSED ADU"
<input type="checkbox"/> DIMENSION SHOWING MINIMUM SEPARATION SPACE BETWEEN ADU AND EXISTING STRUCTURES	USING A DIMENSION LINE, INDICATE IN FEET AND INCHES THE DISTANCE BETWEEN THE ADU AND ANY EXISTING DWELLINGS, GARAGES, SHEDS, OR ACCESSORY STRUCTURES. REQUIRED SEPARATION BETWEEN BUILDINGS IS A 5'-0" MINIMUM. ADU WALL FACING MAIN HOUSE MUST HAVE 1 HOUR FIRE RATING AND NO OPENINGS (WINDOWS OR DOORS). IF ADU HAS AN OVERHANG, IT MUST ALSO BE FIRE RATED. MAIN HOUSE WALL NEED NOT BE FIRE RATED.

### SITE PLAN LEGEND

USE THESE SYMBOLS TO DRAW AND ANNOTATE YOUR SITE PLAN

	NORTH ARROW (INDICATES LOCATION OF NORTH)
	DIMENSION LINE (SHOWS MEASUREMENT BETWEEN 2 PLANES) LABEL WITH MEASUREMENT IN FEET AND INCHES
	PROPERTY LINE (SHOWS OUTLINE OF PROPERTY)
	DASHED LINE - USE FOR EASEMENTS, FENCES, PARKING SPOTS
	SOLID LINE - USE TO SHOW OUTLINE OF EXISTING BUILDINGS, EXTENTS OF DRIVEWAYS OR PATIOS
MAIN ST.	TEXT LABEL - USE TO LABEL DRAWING AS NEEDED
	ARROW - USE FOR CALLOUTS AS NEEDED

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**OWNER-PROVIDED  
SITE PLAN - GARAGE  
CONVERSION**

**GO.1**

## GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE CONTRACTOR SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL TRADES.
- NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER. REVISIONS SHALL BE SUBMITTED, REVIEWED AND APPROVED BY THE COUNTY OF BUELLTON.
- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE DRAWINGS AND SPECIFICATIONS.
- CONTRACTOR TO REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE OWNER FOR DIRECTION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- THE STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. CONTRACTOR TO REVIEW STRUCTURAL, MECHANICAL, AND PLUMBING DRAWINGS BEFORE THE INSTALLATION OF STRUCTURAL, MECHANICAL AND PLUMBING WORK. SHOULD THERE BE A CONFLICT OR DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE CONSULTING ENGINEERS' DRAWINGS IT SHALL BE BROUGHT TO THE OWNER'S ATTENTION FOR DIRECTION PRIOR TO INSTALLATION OF SAID WORK, ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST.
- DO NOT SCALE DRAWINGS; DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS, GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CONCRETE BLOCK WALLS AND FACE OF SCHEDULED PARTITION, UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO FRAMING OR STRUCTURAL MEMBERS, UNON.
- WHERE A TYPICAL DETAIL IS SHOWN, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE.
- CONTRACTOR TO COMPLY WITH CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY, OSHA DEPARTMENT, FOR TRENCHES OR EXCAVATIONS GREATER THAN 5'-0" DEEP INTO WHICH A PERSON IS REQUIRED TO DESCEND FOR CONSTRUCTION PURPOSES.
- CONTRACTOR TO MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.
- CONTRACTOR SHALL PROVIDE TEMPORARY EXIT SIGNS TO ASSURE A MEANS OF EGRESS DURING CONSTRUCTION.
- CONTRACTOR SHALL PROTECT THE AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- CONTRACTOR SHALL COORDINATE TRASH REMOVAL ACCESS PER MUNICIPALITY REQUIREMENTS.
- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK BY OWNER.
- CONTRACTOR SHALL PROTECT STORED ON-SITE AND INSTALLED ABSORPTIVE MATERIALS FROM MOISTURE DAMAGE AND MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF THEIR WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF THEIR OPERATIONS.
- CONTRACTOR TO MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION.
- FIRE PROTECTION EQUIPMENT AND SERVICE ACCESS MUST BE MAINTAINED AND PROVIDED DURING THE CONSTRUCTION PERIOD.
- PUBLIC IMPROVEMENTS AND SERVICES ADJACENT TO THE SITE SHALL BE MAINTAINED DURING CONSTRUCTION. APPROVAL OF THE APPROPRIATE GOVERNING BODY IS REQUIRED BEFORE ANY WORK IS COMMENCED.
- CONTRACTOR SHALL COORDINATE SITE PLUMBING, DRAINAGE, ELECTRICAL, TELEPHONE WORK AND EXISTING UTILITIES TO PROVIDE A COMPLETE OPERATING SYSTEM.
- CLIENT WILL PROVIDE WORK NOTED "BY OTHERS" OR "N.I.C." UNDER A SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- EXCEPT WHERE SHOWN IN DIMENSIONAL DETAIL, OR AS REQUIRED BY CODE, THE LOCATIONS OF PLUMBING, MECHANICAL EQUIPMENT, DUCTS, PIPING AND FITTING ARE APPROXIMATE. THE EXACT LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.
- CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL MECHANICAL EQUIPMENT PADS AND BASES AS WELL AS POWER AND WATER OR DRAIN INSTALLATIONS WITH EQUIPMENT MANUFACTURERS BEFORE PROCEEDING WITH THE WORK. CHANGES TO ACCOMMODATE FIELD CONDITIONS OR SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST.
- CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL MECHANICAL OPENINGS THROUGH THE ROOF WITH MECHANICAL EQUIPMENT MANUFACTURERS.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BLOCKING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ROOM ACCESSORIES, FIXTURES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED MECHANICAL, ELECTRICAL OR MISCELLANEOUS EQUIPMENT AND FURNISHINGS.
- CONTRACTOR TO COORDINATE AND PROVIDE BACKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO WALLS OR CEILINGS.
- CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.
- ACCESSORY DWELLING UNITS (ADUS) ARE TO BE PROVIDED WITH ACCESSIBLE SHUTOFFS FOR WATER AND GAS CONNECTIONS SERVING THE ADU.
- GRAB BAR REINFORCEMENT LOCATIONS SHALL BE PLACED IN THE OPERATION AND MAINTENANCE MANUAL IN ACCORDANCE WITH CALGREEN CH. 4, DIVE 4.4

- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFICATION BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & THEIR DESIGN/CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPT. IF FIELD-TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM OF THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THE AGREEMENT.
- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS THEY SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE OWNER AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED.

## AGING IN PLACE NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA RESIDENTIAL CODE, R327.1.1

- AT LEAST ONE BATHROOM ON THE ENTRY LEVEL SHALL BE PROVIDED WITH REINFORCEMENT INSTALLED IN ACCORDANCE WITH THE FOLLOWING:
- REINFORCEMENT SHALL BE AT LEAST 2X8 LUMBER AND SHALL BE LOCATED BETWEEN 32" AND 39-1/4" ABOVE THE FINISHED FLOOR.
  - WATER CLOSET REINFORCEMENT SHALL BE INSTALLED ON BOTH SIDE WALLS OF THE FIXTURE OR ON ONE SIDE WALL AND THE BACK WALL. (SEE EXCEPTION FOR TOILETS NOT LOCATED ADJACENT TO A WALL).
  - SHOWER REINFORCEMENT SHALL BE CONTINUOUS WHERE WALL FRAMING IS PROVIDED.
  - BATHTUB AND COMBINATION BATHTUB/SHOWER REINFORCEMENT SHALL BE CONTINUOUS ON EACH END OF THE BATHTUB AND THE BACK WALL. ADDITIONALLY, BACK WALL REINFORCEMENT FOR A LOWER GRAB BAR SHALL BE PROVIDED IN THE BOTTOM EDGE LOCATED NO MORE THAN 6 INCHES ABOVE THE BATHTUB RIM.

## PV AND BATTERY SYSTEMS

- SOLAR READINESS REQUIREMENTS - MANDATORY MEASURES
  - ALL NEW BUILDING MUST MEET THE REQUIREMENTS OF THE CALIFORNIA ENERGY CODE SECTION 110.10 MANDATORY REQUIREMENTS FOR SOLAR READINESS UNLESS BUILDING HAS EXEMPTIONS AND IN 110.10
  - ALL PROJECTS MUST SUBMIT NOTIFICATION OF EXISTING UTILITIES, AND ADDITIONS WITH LESS THAN 2000 SQ FT AREA.
- PHOTOVOLTAIC PRESCRIPTIVE REQUIREMENTS
  - ALL NEWLY CONSTRUCTED BUILDINGS MUST MEET THE STORAGE REQUIREMENTS OF ENERGY CODE 140.10 REQUIREMENTS FOR PHOTOVOLTAIC AND BATTERY STORAGE SYSTEMS UNLESS EXEMPTIONS MEET EXCEPTIONS FOUND IN 140.10.
- BATTERY STORAGE PRESCRIPTIVE REQUIREMENTS
  - BATTERY SYSTEMS MUST BE DESIGNED AND COMPLETELY DETAILED AS PART OF PROJECT SUBMITTALS.
  - ALL BUILDINGS REQUIRED TO PROVIDE BATTERY STORAGE MUST PROVIDE BATTERY STORAGE SYSTEMS UNLESS EXEMPTED BY THE EXEMPTIONS FOUND IN 140.10(V) BATTERY STORAGE SYSTEM REQUIREMENTS SUMMARIZED BELOW:
    - EXCEPTION 1: WHERE PV SYSTEMS INSTALLED ARE LESS THAN 15 PERCENT OF TOTAL CALCULATED LOAD IN EQUATION 140.10-A.
    - EXCEPTION 2: WHERE BATTERY STORAGE SYSTEM REQUIREMENTS ARE CALCULATED TO BE LESS THAN 10 KW/H.

## ABBREVIATION

AB	ANCHOR BOLT	DEPT	DEPARTMENT	FTG	FOOTING	MIN	MINIMUM	SEC	SECTION
AC	ASPHALT CONCRETE	DIA	DIAMETER	GA	GAUGE	MISC	MISCELLANEOUS	SD	SEE ELECTRICAL DRAWINGS
AD	AREA DRAIN	DIAG	DIAGONAL	GALV	GALVANIZED	MTD	MOUNTED	SF	SQUARE FOOT
ADJ	ADJACENT	DIM	DIMENSION	GC	GENERAL CONTRACTOR	MTL	METAL	SPEC	SPECIFICATION
ADF	ABOVE FINISH FLOOR	DL	DEAD LOAD	GWB	GYPSSUM WALL BOARD	(N)	NEW	SPD	SEE PLUMBING DRAWINGS
AL	ALIGN	DN	DOWN	HD	HOLDDOWN	NIC	NOT IN CONTRACT	SSD	SEE STRUCTURAL DRAWINGS
ALUM	ALUMINUM	DR	DOOR	HDR	HEADER	NA	NOT APPLICABLE	SS	SOLID SURFACE
ALT	ALTERNATE	DWG	DRAWING	HGR	HANGER	NTS	NOT TO SCALE	STD	STANDARD
ARCH	ARCHITECT/ARCHITECTURAL	DW	DISHWASHER	HM	HOLLOW METAL	O/	OVER	STL	STEEL
AVG	AVERAGE	(E)	EXISTING	HORIZ	HORIZONTAL	OC	ON CENTER	STRUCT	STRUCTURAL
BD	BOARD	EA	EACH	HT	HEIGHT	OH	OVERHEAD/OVERHANG	SUSP	SUSPENDED
BLDG	BUILDING	EB	EXPANSION BOLT	HVAC	HEATING/VENTILATION/	OPNG	OPENING	SYS	SYSTEM
BLKG	BLOCKING	EJ	EXPANSION JOINT	PL	AIR CONDITIONING	PL	PLATE	T	TEMPERED
BTM	BOTTOM	ELEC	ELECTRIC/ELECTRICAL	HW	HOT WATER	PLF	POUNDS PER LINEAL FOOT	TOC	TOP OF CURB
BTWN	BETWEEN	ELEV	ELEVATOR/ELEVATION	IN	INCH/INCHES	PLYWD	PLYWOOD	TYP	TYPICAL
BUR	BUILT-UP ROOFING	EN	EDGE WALLING	INFO	INFORMATION	PTD	PAINTED	UNON	UNLESS OTHERWISE NOTED
CB	CATCH BASIN	ENCL	ENCLOSURE	INSUL	INSULATION	PSF	POUNDS PER SQUARE FOOT	VERT	VERTICAL
CF	CUBIC FEET	EP	ELECTRICAL PANEL	INT	INTERIOR	PSI	POUNDS PER SQUARE INCH	VIF	VERIFY IN FIELD
CKJ	CONTROL JOINT	EQUIP	EQUIPMENT	JT	JOINT	PT	PRESSURE TREATED	W/	WITH
CLG	CAULKING	EXT	EXTERIOR	KIT	KITCHEN	PVMT	PAVEMENT	WC	WATER CLOSET
CLG	CEILING	FD	FLOOR DRAIN	LB	LAG BOLT	RA	RETURN AIR	WD	WOOD
CLR	CLEAR	FF	FINISH FLOOR	LBS	POUNDS	RCP	REFLECTED CEILING PLAN	WH	WATER HEATER
CO	CLEANOUT	FIN	FINISH	LF	LINEAR FOOT	RD	ROOF DRAIN	WDW	WINDOW
COTG	CLEANOUT TO GRADE	FL	FLOW LINE	LL	LIVE LOAD	REF	REFERENCE	W/O	WITHOUT
COL	COLUMN	FLSHG	FLASHING	LS	LAG SCREW	REFR	REFRIGERATOR	WP	WATERPROOF
CONC	CONCRETE	FLR	FLOOR	MAX	MAXIMUM	REQD	REQUIRED	WT	WEIGHT
CONT	CONTINUOUS	FOC	FACE OF CONCRETE	MB	MACHINE BOLT	REV	REVISION		
CT	CERAMIC TILE	FOS	FACE OF STUD	MECH	MECHANICAL	RM	ROOM		
CTR	CENTER	FOW	FACE OF WALL	MFD	MANUFACTURED	RO	ROUGH OPENING		
CW	COLD WATER	FRMG	FRAMING	MFR	MANUFACTURER	SCHED	SCHEDULE		
DBL	DOUBLE	FT	FOOT	MICRO	MICROWAVE	SD	STORM DRAIN		

## ELECTRICAL NOTES

- PROVIDE GFCI PROTECTED OUTLETS AT ALL KITCHEN COUNTERTOPS, BATHROOM COUNTERTOPS, OUTDOOR LAUNDRY AREAS, DISHWASHERS, OUTDOOR LOCATIONS, AND REQUIRED LOCATIONS PER CEC 210.8.
- KITCHEN RECEPTACLES SHALL BE SPACED AND INSTALLED PER CEC 210.52.
- KITCHEN COUNTERTOP RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24" FROM AN OUTLET.
- PROVIDE (2) TWO 20 AMP SMALL APPLIANCE CIRCUITS IN KITCHEN.
- PROVIDE SEPARATE CIRCUIT FOR ELECTRIC RANGE AS REQUIRED BY CEC 210.19.
- PROVIDE SEPARATE CIRCUIT FOR RANGE HOOD OR MICROWAVE/HOOD UNIT.
- PROVIDE SEPARATE CIRCUIT FOR DISHWASHER. DISHWASHER RECEPTACLE MUST BE ACCESSIBLE AND GFCI PROTECTED.
- PROVIDE SEPARATE GFCI PROTECTED CIRCUIT FOR GARBAGE DISPOSAL, IF USED.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC DRYERS PER CEC 220.54.
- PROVIDE SEPARATE CIRCUIT AT LOCATIONS OF ELECTRIC WATER HEATERS PER CEC 422.13.
- ALL BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER.
- ALL SMOKE DETECTORS OR CARBON MONOXIDE DETECTORS TO BE 110V, ARC-FAULT CIRCUIT INTERRUPTER INTERCONNECTED, W/ BATTERY BACKUP.
- ALL 125-VOLT, 15-AND 20 AMPERE RECEPTACLES IN THE DWELLING SHALL BE TAMPER RESISTANT. CEC406.12.
- ONLY NEW ELECTRICAL SHOWN ON PLAN. CONTRACTOR TO VERIFY CONDITION AND COMPLIANCE OF EXISTING ELECTRICAL AND REPAIR OR REPLACE TO COMPLY WITH MIN. CEC REQUIREMENTS.
- ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. CRC SECTION 110.10.
- ALL NEW, UNIFIED, REPEATED OR EXTENDED 120 VOLT BRANCH CIRCUITS SERVING KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DENS, BEDROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR AREAS MUST HAVE AN ARC-FAULT CIRCUIT INTERRUPTER (AFCI) PROTECTED PER CEC 110.12[A].
- SWITCHES AND ALIGN OUTLETS TO SWITCHES VERTICALLY.
- PROVIDE BATTERY-READY INFRASTRUCTURE PER 2024 BUILDING ENERGY EFFICIENCY STANDARDS FOR SINGLE-FAMILY RESIDENTIAL (150.0) FOR THE OWNER TO INDICATE ADDITIONAL OUTLETS FOR TV/MEDIA.
- PROVIDE WHOLE HOUSE SURGE PROTECTION PER CEC 210.57.
- PER CEC Section 150.0 ALL ONE- AND TWO-FAMILY DWELLINGS SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
  - A DEDICATED RACEWAY SHALL BE MAIN SERVICE TO A PANELBOARD (SUBPANEL) THAT SUPPLIES THE BRANCH CIRCUITS IN SECTION 150.0(S)(2). BRANCH CIRCUITS ARE PERMITTED TO BE SUPPLIED BY THE MAIN SERVICE PANEL PRIOR TO THE INSTALLATION OF AN ESS. THE TRADE SIZE OF THE RACEWAY SHALL BE NOT LESS THAN 1 INCH. THE PANELBOARD THAT SUPPLIES THE BRANCH CIRCUITS (SUBPANEL) MUST BE LABELED "SUBPANEL SHALL INCLUDE ALL BACKED-UP LOAD CIRCUITS."
  - A MINIMUM OF FOUR BRANCH CIRCUITS SHALL BE IDENTIFIED AND HAVE THEIR SOURCE OF SUPPLY COLLOCATED AT A SINGLE PANELBOARD SUITABLE TO BE SUPPLIED BY THE ESS. AT LEAST ONE CIRCUIT SHALL SUPPLY THE REFRIGERATOR, ONE LIGHTING CIRCUIT SHALL BE LOCATED NEAR THE PRIMARY EGRESS AND AT LEAST ONE CIRCUIT SHALL SUPPLY A SLEEPING ROOM RECEPTACLE OUTLET.
  - THE MAIN PANELBOARD SHALL HAVE A MINIMUM BUSBAR RATING OF 225 AMPS.
  - SUFFICIENT SPACE SHALL BE RESERVED TO ALLOW FUTURE INSTALLATION OF A SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH WITHIN 3 FEET OF THE MAIN PANELBOARD. RACEWAYS SHALL BE INSTALLED BETWEEN THE PANELBOARD AND THE SYSTEM ISOLATION EQUIPMENT/TRANSFER SWITCH LOCATION TO ALLOW THE CONNECTION OF BACKUP POWER SOURCE.

## WUI/SRA NOTES

THE FOLLOWING ARE MINIMUM REQUIREMENTS PER THE MOST RECENT VERSION OF THE CALIFORNIA BUILDING CODE, CHAPTER 7A, AND THE CALIFORNIA RESIDENTIAL CODE SECTION R337.

NEW BUILDINGS LOCATED IN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILDLAND-URBAN INTERFACE (WUI) FIRE AREA DESIGNATED BY THE ENFORCING AGENCY CONSTRUCTED AFTER THE APPLICATION DATE SHALL COMPLY WITH THE PROVISIONS OF THESE SECTIONS.

### VEGETATION MANAGEMENT COMPLIANCE. R3371.5

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906 AND 4907, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182.

### ROOFS AND ROOF EDGES. CBC 705A / CRC R337.5

ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THE CBC 705A AND SECTIONS CRC337 AND CRC902. NONCOMBUSTIBLE (TILE OR METAL) OR CLASS 'A' ROOFING (CLASS A ASPHALT SHINGLES) ASSEMBLY IS REQUIRED IN SRA - VERY HIGH FIRE HAZARD SEVERITY ZONES. BIRD STOPS SHALL BE USED AT THE EAVES WHEN THE PROFILE FITS, TO PREVENT DEBRIS AT THE EAVE. HIP AND RIDGE CAPS SHALL BE MUDDIED IN TO PREVENT INTRUSION OF FIRE OR EMBERS.

### OFF RIDGE AND RIDGE VENTS. R337.6.2.1

VENTS THAT ARE INSTALLED ON A SLOPED ROOF, SUCH AS DORMER VENTS, SHALL COMPLY WITH ALL THE FOLLOWING:

- VENTS SHALL BE COVERED WITH A MESH WHERE THE DIMENSIONS OF THE MESH THEREIN SHALL BE A MINIMUM OF 1/16 INCH (1.6 MM) AND SHALL NOT EXCEED 1/8 INCH (3.2 MM) IN DIAMETER.
- THE MESH MATERIAL SHALL BE NONCOMBUSTIBLE.
- THE MESH MATERIAL SHALL BE CORROSION RESISTANT.

### EXTERIOR WALLS/SIDING. CBC 707A.3 /CRC R337.7.1/CRC R337.7.3

WALLS SHALL BE A NONCOMBUSTIBLE MATERIAL, LISTED IGNITION-RESISTANT MATERIALS, OR FIRE-RETARDANT TREATED WOOD. HEAVY TIMBER, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, BOXED-IN ROOF EAVE SOFFIT ASSEMBLIES THAT MEET THE PERFORMANCE CRITERIA IN SECTION R337.7.11 AND SFM STANDARD 12-71-3. EXTERIOR PORTION OF 1-HR ASSEMBLY OR LOG WALL CONSTRUCTION IS ALLOWED. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, AND TERMINATE AT 2 INCH NOMINAL SOLID WOOD BLOCKING BETWEEN RAFTERS AT ALL ROOF OVERHANGS, OR IN THE CASE OF ENCLOSED EAVES, TERMINATE AT THE ENCLOSURE.

### EAVES AND PORCH CEILINGS CBC 707A.4, A.6 / CRC R337.7.4. R337.7.6

THE EXPOSED ROOF DECK UNDER UNENCLOSED EAVES AND UNDERSIDE OF PORCH CEILINGS SHALL BE NONCOMBUSTIBLE, LISTED IGNITION-RESISTANT MATERIALS, FIRE-RETARDANT-TREATED WOOD, MATERIALS APPROVED FOR NOT LESS THAN 1-HOUR FIRE-RESISTANCE-RATED, OR 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING. SOLID WOOD RAFTER TAILS SHALL BE PROTECTED WITH AN APPROVED METHOD, AND NOT EXPOSED.

### VENTS. CBC 706A / CRC R337.6

VENTS SHALL NOT BE INSTALLED ON THE UNDERSIDE OF EAVES UNLESS THE VENTS ARE WILDLAND FLAME AND EMBER RESISTANT (WUI) VENTS APPROVED AND LISTED BY THE CALIFORNIA STATE FIRE MARSHAL, OR WUI VENTS LISTED TO ASTM E2886. VENTS THAT ARE INSTALLED ON A SLOPE SHALL COMPLY WITH **CBC 706A2.1**.

### WINDOWS AND EXTERIOR DOORS. CBC 708A / CRC R337.8

WINDOWS, SKYLIGHTS AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL BE CONSTRUCTED OF MULTIPANE GLAZING WITH A MINIMUM OF 1 TEMPERED PANE OR 20 MIN RATED OR GLASS BLOCK. EXTERIOR DOORS MUST BE NONCOMBUSTIBLE OR IGNITION RESISTANT MATERIAL OR 1 3/8" SOLID CORE, OR HAVE A 20 MIN FIRE-RESISTANCE RATING.

### EXTERIOR DECKING AND STAIRS. CBC 709A / CRC R337.9

WALKING SURFACES OF DECKS, PORCHES. BALCONIES AND STAIRS WITHIN 10 FEET OF THE BUILDING MUST BE CONSTRUCTED OF NONCOMBUSTIBLE, FIRE-RETARDANT TREATED OR HEAVY-TIMBER CONSTRUCTION. ALTERNATE MATERIALS CAN BE USED IF THEY ARE IGNITION-RESISTANT AND PASS PERFORMANCE REQUIREMENTS SPECIFIED BY THE STATE FIRE MARSHAL.

### UNDERFLOOR AND APPENDAGES. CBC 707A.8 / CRC R337.7.8

EXPOSED UNDERFLOORS, UNDERSIDE OF CANTILEVERED AND OVERHANGING DECKS, BALCONIES AND SIMILAR APPENDAGES SHALL BE NON-COMBUSTIBLE, IGNITION RESISTANT, 5/8" TYPE X GYPSUM SHEATHING BEHIND EXTERIOR COVERING, EXTERIOR PORTION OF 1-HR ASSEMBLY, MEET PERFORMANCE CRITERIA SFM STANDARD 12-7A-3 OR BE ENCLOSED TO GRADE.

### ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES. CBC 710A

GROUP U OCCUPANCY ACCESSORY BUILDINGS AND MISCELLANEOUS STRUCTURES THAT HAVE THE POTENTIAL TO POSE A SIGNIFICANT EXTERIOR FIRE EXPOSURE HAZARD DURING WILDFIRES SHALL BE CONSTRUCTED TO CONFORM TO THE IGNITION-RESISTANCE REQUIREMENTS OF THIS SECTION.



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM  
P: 831.227.2217

## BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B  
TEMPLETON, CA 93465  
BROCKITECTURE.COM

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G1.0

SCALE: AS NOTED



189 WALNUT AVENUE SANTA CRUZ, CA 95060 WORKBENCHBUILT.COM P: 831.227.2217

BROCKETT /ARCHITECT

104 S. MAIN ST UNIT B TEMPLETON, CA 93465 BROCKTICTURE.COM

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CALGREEN REQUIREMENTS - GARAGE CONVERSION

G2.0

SCALE: AS NOTED

CHAPTER 3 GREEN BUILDING SECTION 301 GENERAL 301.1 SCOPE Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. DIVISION 4.1 PLANNING AND DESIGN ABBREVIATION DEFINITIONS: HCD Department of Housing and Community Development BSC California Building Standards Commission DSA-SS Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development LR Low Rise HR High Rise AA Additions and Alterations N New CHAPTER 4 RESIDENTIAL MANDATORY MEASURES SECTION 4.102 DEFINITIONS 4.102.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar porous material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. 4.106 SITE DEVELOPMENT 4.106.1 GENERAL Preservation and use of available natural resources shall be accomplished through evaluation and careful planning to minimize negative effects on the site and adjacent areas. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre or more, shall manage storm water drainage during construction. 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. 4.106.4 Electric vehicle [EV] charging for new construction. New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. 4.106.4.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE".

4.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units, and hotels and motels with less than 20 sleeping units or guest rooms. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more sleeping units or guest rooms. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. 4.106.4.2.3 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.2.2.1 and 4.106.4.2.2.1, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. Section 1109A. 4.106.4.3 Electric vehicle charging for new construction. New construction shall comply with Sections 4.106.4.3.1 or 4.106.4.3.2 to facilitate future installation and use of EV chargers. 4.106.4.3.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE". 4.106.4.3.2 Accessible EV spaces. In addition to the requirements in Sections 4.106.4.3.1 and 4.106.4.3.1, all EVSE, when installed, shall comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. Section 1109A. 4.106.4.4 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE". 4.106.4.5 Electric Vehicle Ready Space Signage. Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its successor(s).

4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, and 4.303.1.4. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. 4.303.1.2 Urinals. The effective flush volume of all urinals shall not exceed 0.125 gallons per flush. 4.303.1.3 Showerheads. 4.303.1.3.1 Single Showerheads. Single showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. 4.303.1.3.2 Multiple Showerheads serving one shower. When multiple showerheads are installed in a single shower stall, the maximum flow rate of all showerheads shall not exceed 1.8 gallons per minute at 80 psi. 4.303.1.4 Faucets. 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (such as restrooms of dwellings or sleeping units) in residential buildings shall not exceed 1.8 gallons per minute at 60 psi. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.5 gallons per minute at 60 psi. 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. 4.303.1.4.5 Pre-rinse spray valves. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 (d)(7) and shall be equipped with an integral automatic shutoff. 4.303.2 Submitters for multifamily buildings and dwelling units in mixed-used residential-commercial buildings. Submitters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code. 4.303.3 Standards for plumbing fixtures and fittings. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code. TABLE H-2 STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY VALVES MANUFACTURED ON OR AFTER JANUARY 28, 2019 PRODUCT CLASS [spray force in ounce force (ozf)] MAXIMUM FLOW RATE (gpm) Product Class 1 (<= 5.0 ozf) 1.00 Product Class 2 (> 5.0 ozf and <= 8.0 ozf) 1.20 Product Class 3 (> 8.0 ozf) 1.28 TABLE - MAXIMUM FIXTURE WATER USE FIXTURE TYPE FLOW RATE SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI LAVATORY FAUCETS (RESIDENTIAL) MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS 0.5 GPM @ 60 PSI KITCHEN FAUCETS 1.8 GPM @ 60 PSI METERING FAUCETS 0.2 GAL/CYCLE WATER CLOSET 1.28 GAL/FLUSH URINALS 0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annual spaces around pipes, electric cables, conduits or other openings in solebottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with items 1 through 5. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. 4.408.3 CONSTRUCTION WASTE MANAGEMENT PLAN. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 tons per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4. 4.410 BUILDING MAINTENANCE AND OPERATION 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building. 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a locally enacted local recycling ordinance, if more restrictive. DIVISION 4.5 ENVIRONMENTAL QUALITY SECTION 4.501 GENERAL 4.501.1 Scope The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. SECTION 4.502 DEFINITIONS 4.502.1 DEFINITIONS The following terms are defined in Chapter 2 (and are included here for reference) AGRIFFER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section 93120.1. DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y N/A RESPON PARTY
\* YES
\* NOT APPLICABLE
RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)



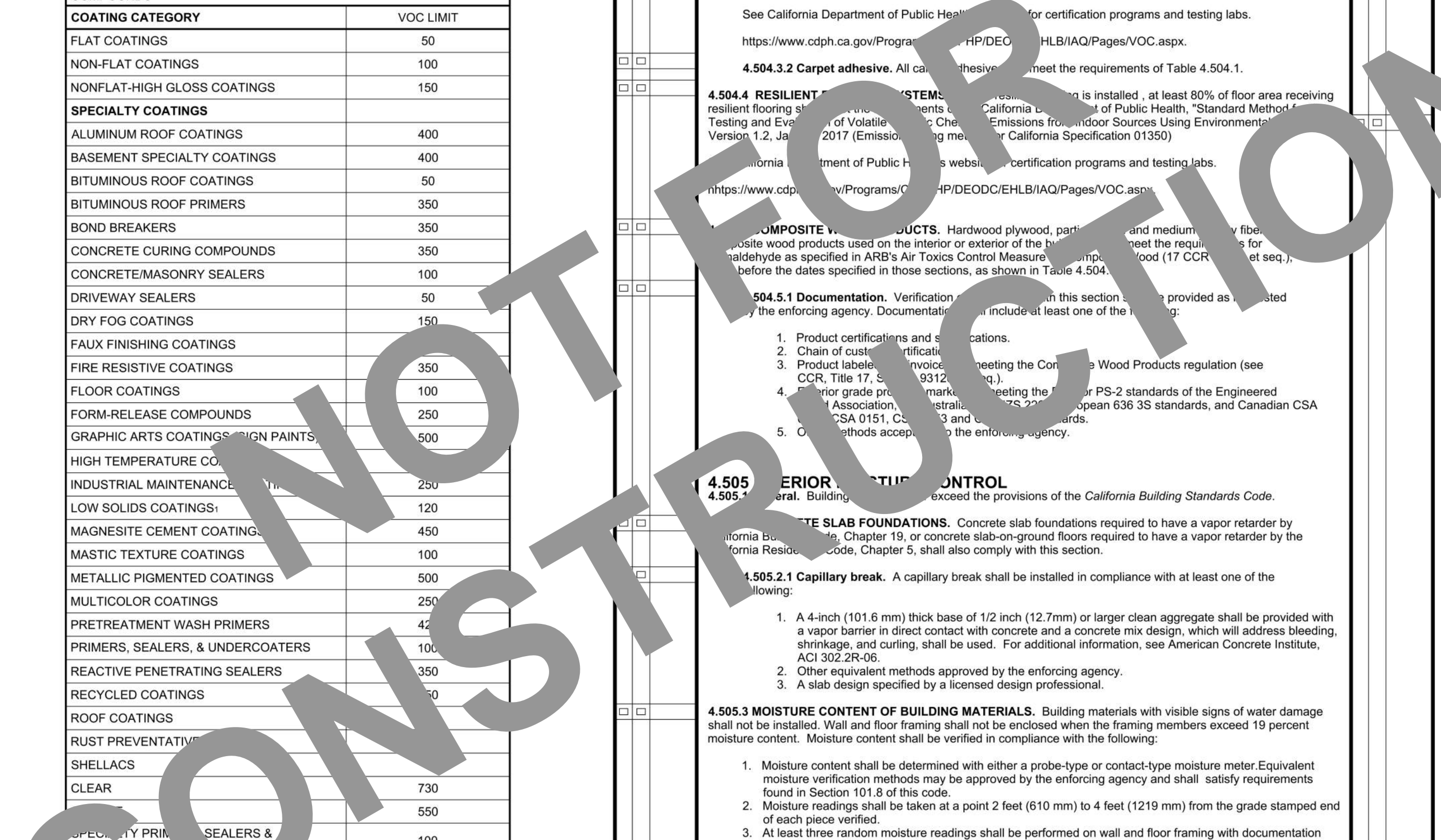
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SANTA CRUZ, CA 95060
WORKBENCHBUILT.COM
P: 831.227.2217
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MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROG).
MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.
PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article.
REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.
VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature.
4.503 FIREPLACES
4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION.
4.504.2 FINISH MATERIAL POLLUTANT CONTROL.
4.504.2.1 Adhesives, Sealants and Caulks.
4.504.2.2 Paints and Coatings.
4.504.2.3 Aerosol Paints and Coatings.
4.504.2.4 Verification.
4.504.1 - ADHESIVE VOC LIMIT
TABLE 4.504.1 - ADHESIVE VOC LIMIT
(Less Water and Less Exempt Compounds in Grams per Liter)

TABLE 4.504.2 - SEALANT VOC LIMIT
TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS
TABLE 4.504.4 - ADHESIVE VOC LIMIT
TABLE 4.504.5 - SEALANT VOC LIMIT

TABLE 4.504.5 - FORMALDEHYDE LIMITS
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION
PRODUCT CURRENT LIMIT
DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)
4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017.
4.504.3.1 Carpet cushion.
4.504.3.2 Carpet adhesive.
4.504.3.3 Carpet glue.
4.504.4 RESILIENT FLOOR SYSTEMS.
4.505 CONCRETE SLAB FOUNDATIONS.
4.505.1 Capillary break.
4.505.2 MOISTURE CONTENT OF BUILDING MATERIALS.
4.506 INDOOR AIR QUALITY AND EXHAUST
4.506.1 Bathroom exhaust fans.
4.506.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
702 QUALIFICATIONS
702.1 INSTALLER TRAINING.
702.2 SPECIAL INSPECTION [HCD].
703 DOCUMENTATION.



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PRINT DATE: 1.25.2024

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CALGREEN REQUIREMENTS - GARAGE CONVERSION
G2.1
SCALE: AS NOTED







workbench

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SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM  
P: 831.227.2217

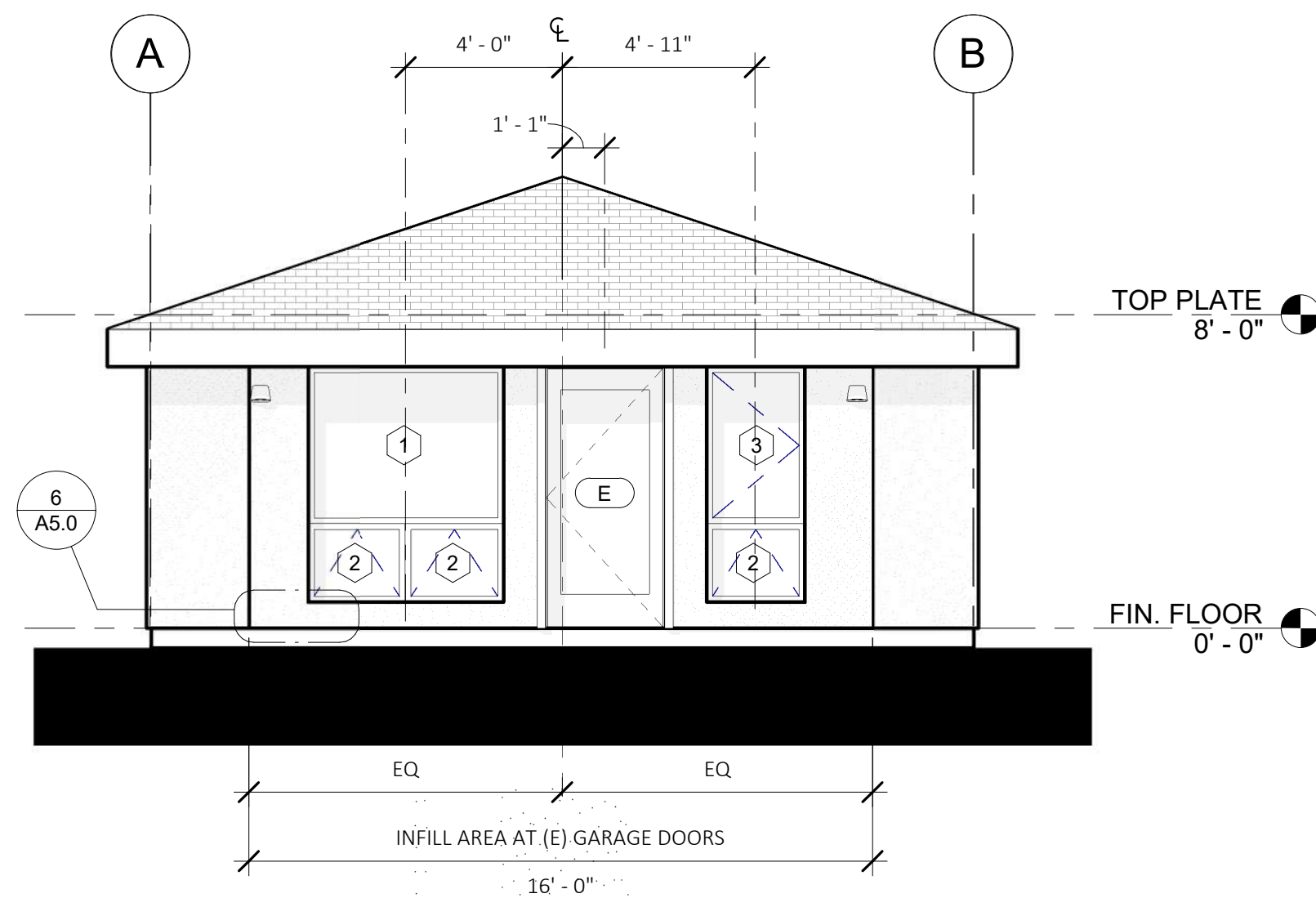
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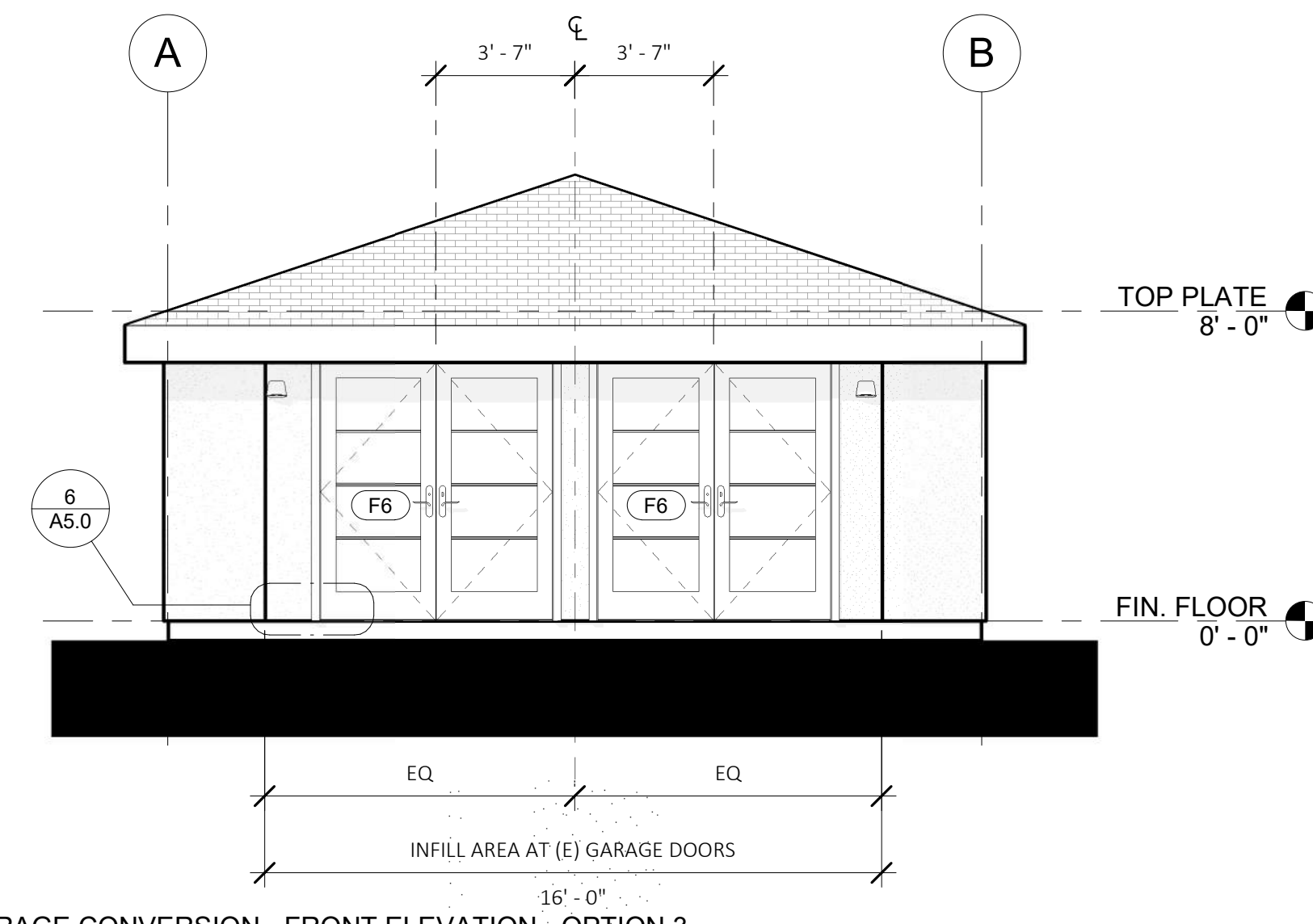
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4 GARAGE CONVERSION - FRONT ELEVATION - OPTION 4  
1/4" = 1'-0"

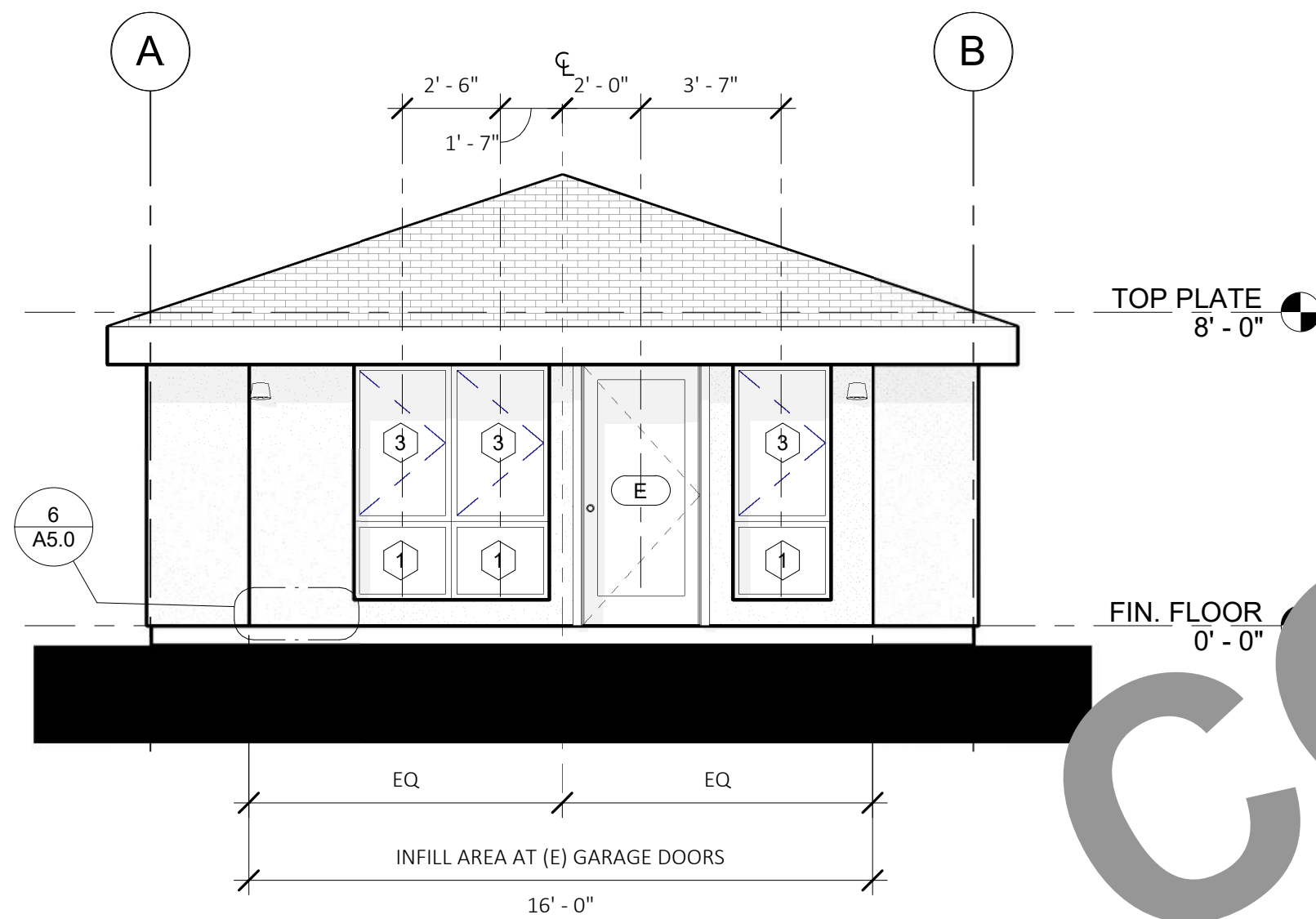
WINDOW SCHEDULE - GARAGE CONVERSION - OPTION 4							
TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	1	5'-0"	4'-0"	6'-8"	2'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR
2	AWNING	3	2'-6"	2'-0"	2'-8"	0'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR
3	CASEMENT	1	2'-6"	4'-0"	6'-8"	2'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR

DOOR SCHEDULE - GARAGE CONVERSION - OPTION 4												
DOOR MARK	DOOR TYPE	DESCRIPTION	Count	DIMENSIONS			MATERIALS					
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP
A	A	INTERIOR SWING DOOR - BEDROOM/BATHROOM	1	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	2
B	B	INTERIOR BYPASS CLOSET DOOR	1	5'-0"	6'-8"	0'-2"	SC	PTD	N/A	WD	PTD	4
E	E	EXTERIOR SWING DOOR - FRONT DOOR	1	3'-0"	6'-8"	0'-1 3/8"	WD	STD/PTD	GL-2 TEMP	WD	STD/PTD	1



3 GARAGE CONVERSION - FRONT ELEVATION - OPTION 3  
1/4" = 1'-0"

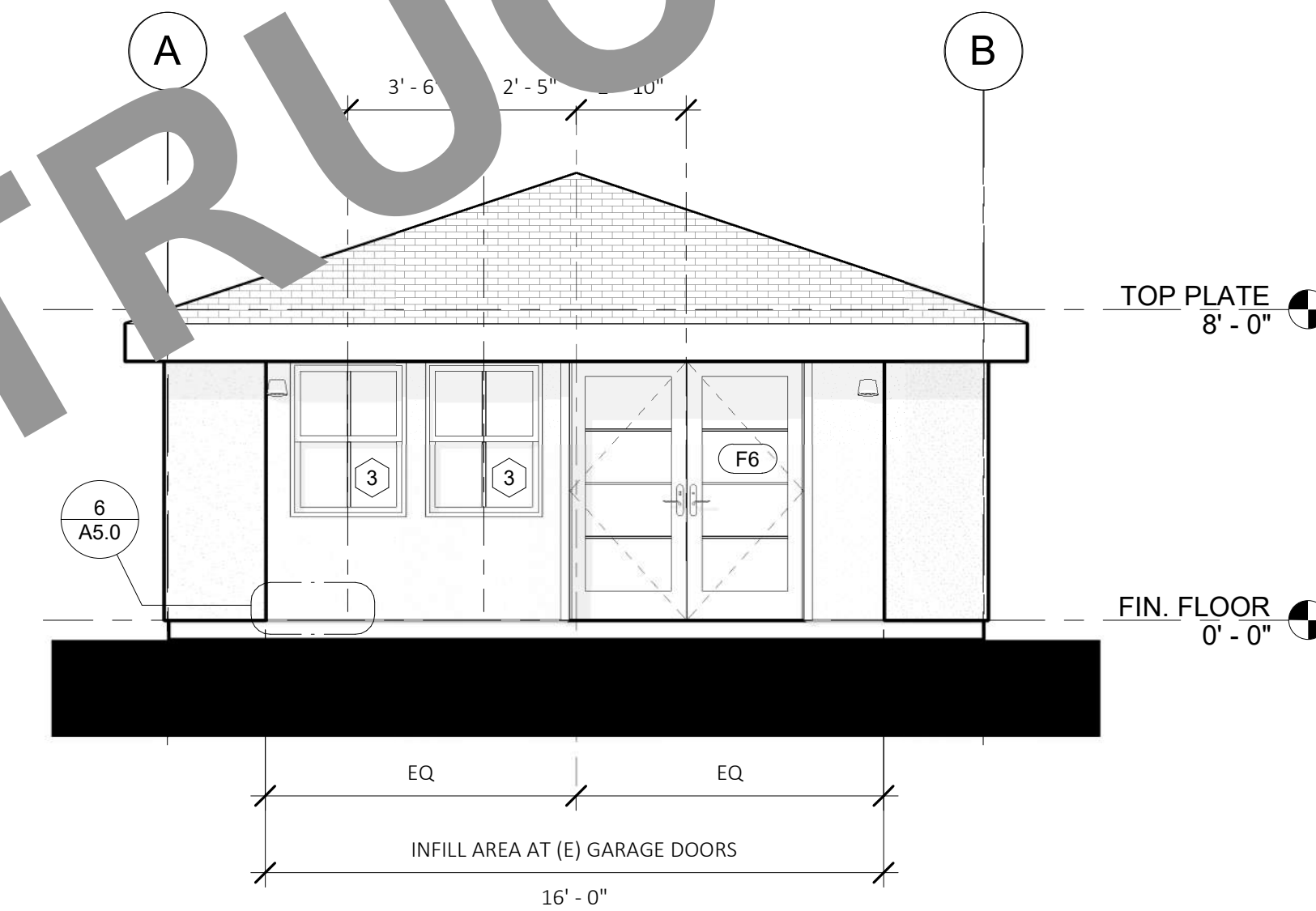
DOOR SCHEDULE - GARAGE CONVERSION - OPTION 3												
DOOR MARK	DOOR TYPE	DESCRIPTION	Count	DIMENSIONS			MATERIALS					
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP
A	A	INTERIOR SWING DOOR - BEDROOM/BATHROOM	1	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	2
B	B	INTERIOR BYPASS CLOSET DOOR	1	5'-0"	6'-8"	0'-2"	SC	PTD	N/A	WD	PTD	4
F6	F	EXTERIOR 6'-0" FRENCH DOOR WITH GLAZING	1	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	WD	PER MFR	1
F6	F	EXTERIOR 6'-0" FRENCH DOOR WITH GLAZING	1	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	WD	PER MFR	1



2 GARAGE CONVERSION - FRONT ELEVATION - OPTION 2  
1/4" = 1'-0"

WINDOW SCHEDULE - GARAGE CONVERSION - OPTION 2							
TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	3	2'-6"	2'-0"	2'-8"	0'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR
3	CASEMENT	3	2'-6"	4'-0"	6'-8"	2'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR

DOOR SCHEDULE - GARAGE CONVERSION - OPTION 2												
DOOR MARK	DOOR TYPE	DESCRIPTION	Count	DIMENSIONS			MATERIALS					
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP
A	A	INTERIOR SWING DOOR - BEDROOM/BATHROOM	1	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	2
B	B	INTERIOR BYPASS CLOSET DOOR	1	5'-0"	6'-8"	0'-2"	SC	PTD	N/A	WD	PTD	4
E	E	EXTERIOR SWING DOOR - FRONT DOOR	1	3'-0"	6'-8"	0'-1 3/8"	WD	STD/PTD	GL-2 TEMP	WD	STD/PTD	1



1 GARAGE CONVERSION - FRONT ELEVATION - OPTION 1  
1/4" = 1'-0"

WINDOW SCHEDULE - GARAGE CONVERSION - OPTION 1							
TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
3	SINGLE HUNG	2	3'-0"	4'-0"	6'-8"	2'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR

DOOR SCHEDULE - GARAGE CONVERSION - OPTION 1												
DOOR MARK	DOOR TYPE	DESCRIPTION	Count	DIMENSIONS			MATERIALS					
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP
A	A	INTERIOR SWING DOOR - BEDROOM/BATHROOM	1	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	2
B	B	INTERIOR BYPASS CLOSET DOOR	1	5'-0"	6'-8"	0'-2"	SC	PTD	N/A	WD	PTD	4
F6	F	EXTERIOR 6'-0" FRENCH DOOR WITH GLAZING	1	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	WD	PER MFR	1

### GARAGE CONVERSION NOTES

- LOCATIONS OF EXTERIOR LIGHT FIXTURES ARE SHOWN GENERALLY. HOMEOWNER TO COORDINATE LOCATION OF EXTERIOR LIGHTING FIXTURES WITH CONTRACTOR.
- EXTERIOR FINISH/SIDING AT AREA OF GARAGE DOOR INFILL SHALL MATCH PRIMARY UNIT.
- STYLE OF EXTERIOR DOORS, WINDOWS, AND DOOR/WINDOW TRIM SHALL BE DETERMINED BY HOMEOWNER AND COORDINATED WITH CONTRACTOR PRIOR TO CONSTRUCTION.
- DIMENSIONS ON ELEVATIONS ARE TAKEN FROM CENTERLINE OF (E) GARAGE DOOR OPENING.
- ATTIC ACCESS: AT ENCLOSED CEILINGS A READILY ACCESSIBLE ATTIC ACCESS, MINIMUM 22" X 30" SHOULD BE LOCATED WHERE AT LEAST 30" OF UNOBSTRUCTED HEADROOM OCCURS AND ATTIC SPACE EXCEEDS 30 SQ. FT. [CRC R807.1]

### ELEVATION NOTES

- ELEVATION DIMENSIONS ARE TO GRIDLINE OR CENTERLINE OF WINDOWS, UON.
- GRIDLINES ARE TO EDGE OF CONCRETE, CENTERLINE OF FOOTING, OR CENTERLINE OF STRUCTURAL ELEMENTS, UNLESS OTHERWISE NOTED.
- SEE SHEET A5.0 FOR EXTERIOR WALL TYPES AND DETAILS.
- MATERIALS INDICATED ARE SHOWN GENERICALLY. ACTUAL MATERIALS ARE AS SELECTED BY THE OWNER.
- BUILDING HEIGHT MAXIMUM SHALL BE 16'-0" ABOVE AVERAGE NATURAL GRADE. (THE AVG. GRADE HEIGHT AT ALL BUILDING CORNERS). CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL. CRC327.1.4

**BUELLTON PRE-DESIGNED  
ADU PROGRAM  
GARAGE CONVERSION  
ADU**

PRINT DATE: 1.25.2024

**NOT FOR  
CONSTRUCTION**

**GARAGE STANDARD -  
EXTERIOR  
ELEVATION OPTIONS**

**A1.1**

SCALE: AS NOTED



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WORKBENCHBUILT.COM  
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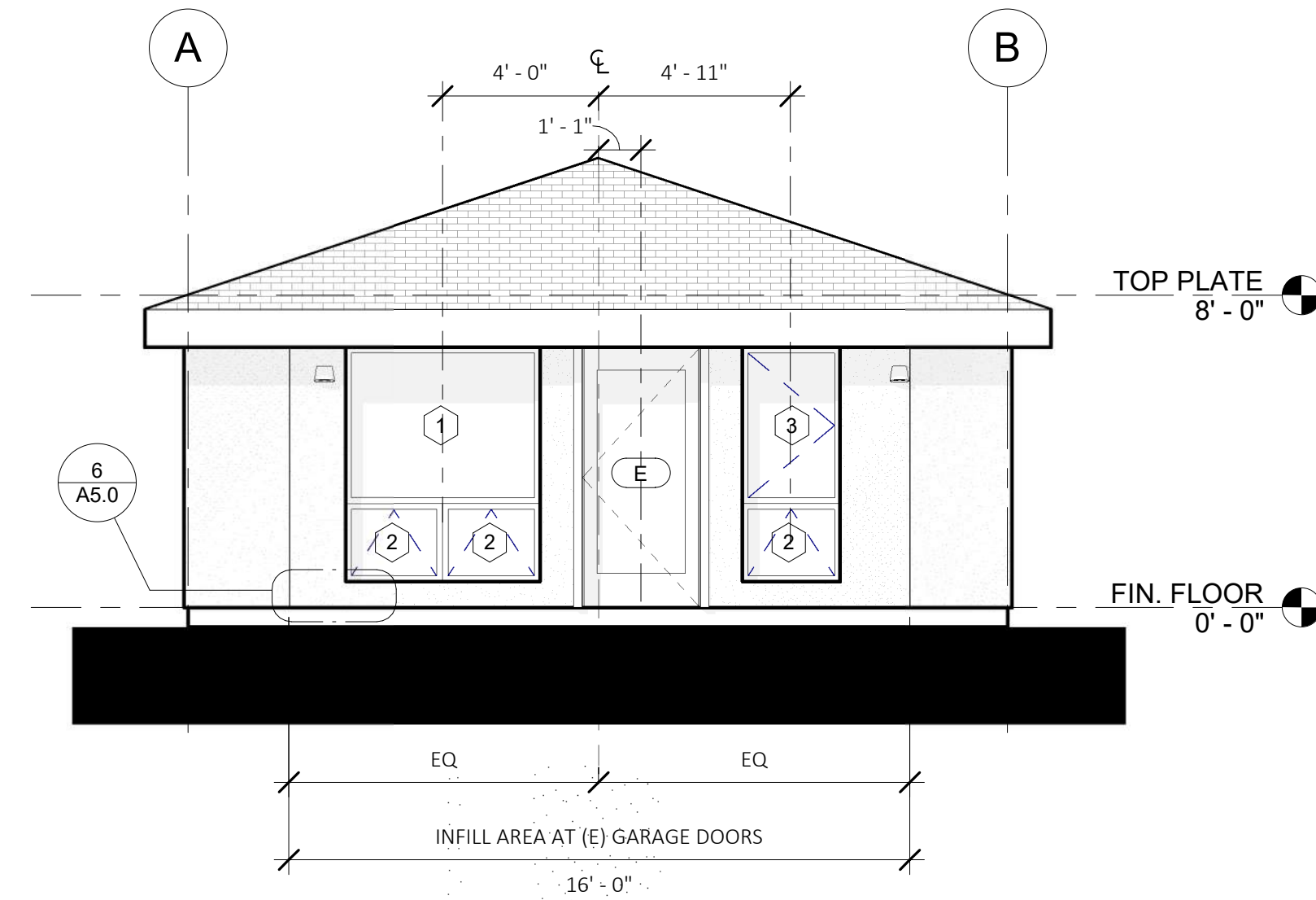
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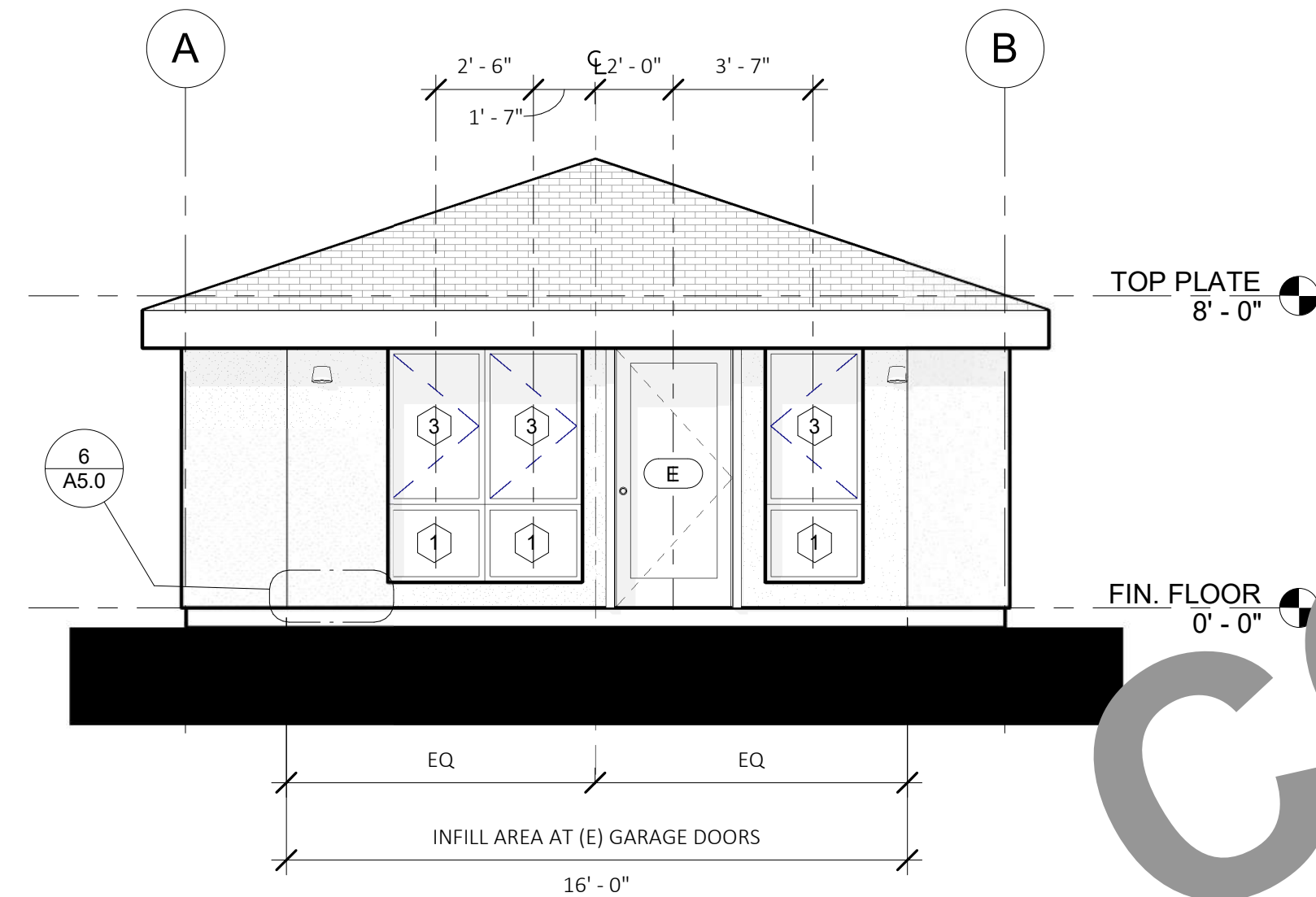
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4 GARAGE CONVERSION - FRONT ELEVATION - OPTION 4  
1/4" = 1'-0"

WINDOW SCHEDULE - GARAGE CONVERSION - OPTION 4							
TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	1	5'-0"	4'-0"	6'-8"	2'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR
2	AWNING	3	2'-6"	2'-0"	2'-8"	0'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR
3	CASEMENT	1	2'-6"	4'-0"	6'-8"	2'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR

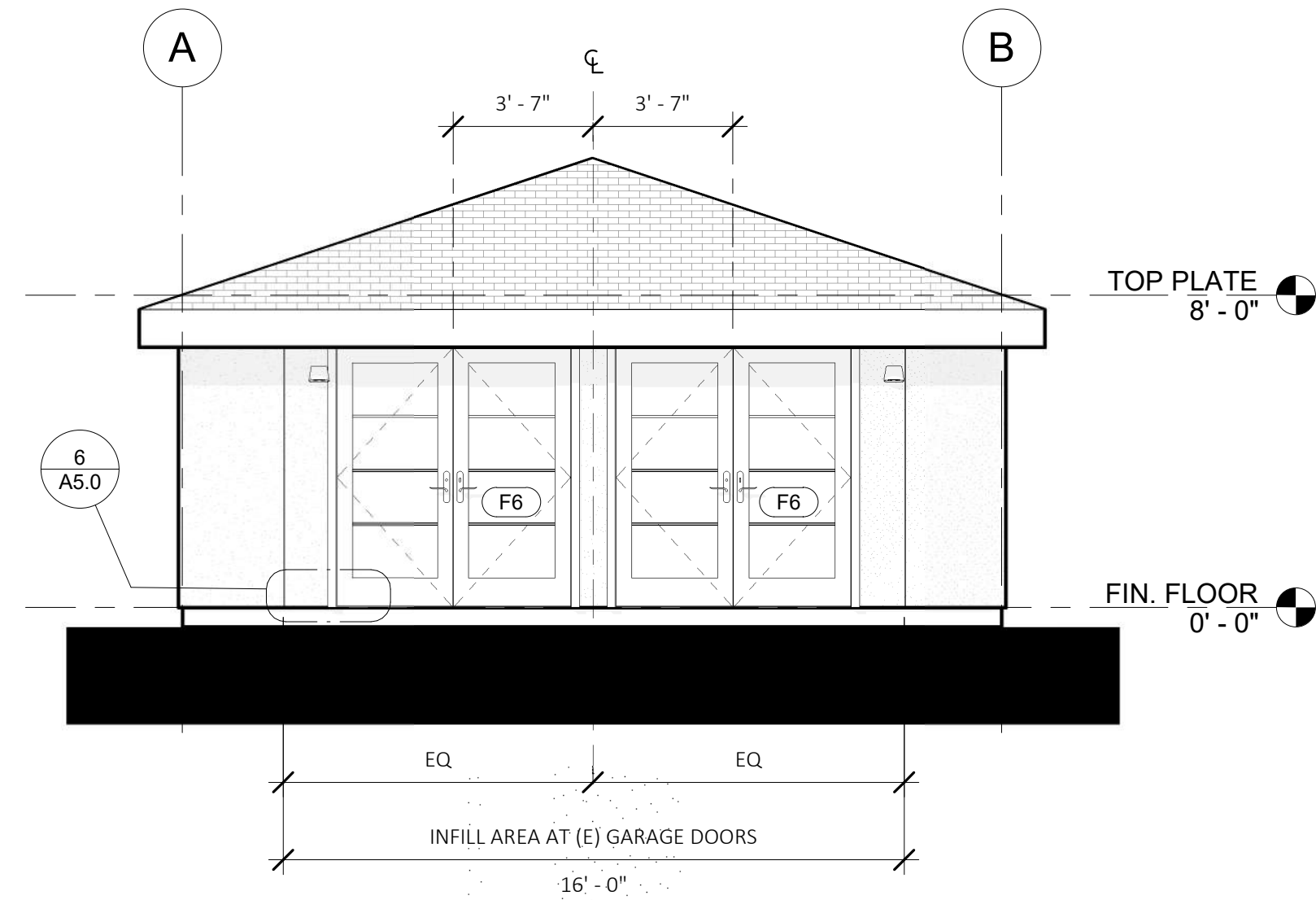
DOOR SCHEDULE - GARAGE CONVERSION - OPTION 4												
DOOR MARK	DOOR TYPE	DESCRIPTION	Count	DIMENSIONS			MATERIALS					
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP
A	A	INTERIOR SWING DOOR - BEDROOM/BATHROOM	1	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	2
B	B	INTERIOR BYPASS CLOSET DOOR	1	5'-0"	6'-8"	0'-2"	SC	PTD	N/A	WD	PTD	4
E	E	EXTERIOR SWING DOOR - FRONT DOOR	1	3'-0"	6'-8"	0'-1 3/8"	WD	STD/PTD	GL-2 TEMP	WD	STD/PTD	1



2 GARAGE CONVERSION - FRONT ELEVATION - OPTION 2  
1/4" = 1'-0"

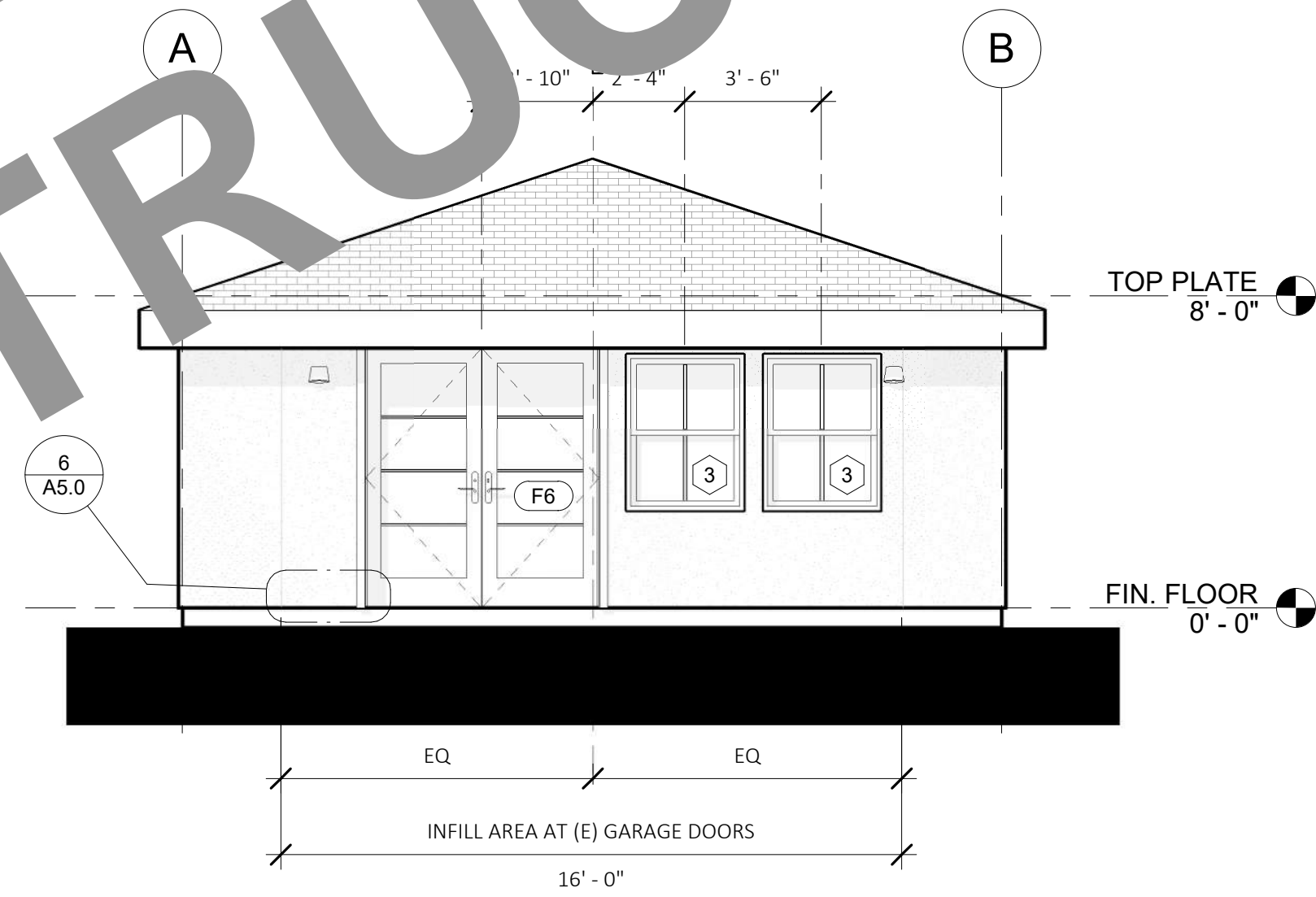
WINDOW SCHEDULE - GARAGE CONVERSION - OPTION 2							
TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
1	FIXED	3	2'-6"	2'-0"	2'-8"	0'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR
3	CASEMENT	3	2'-6"	4'-0"	6'-8"	2'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR

DOOR SCHEDULE - GARAGE CONVERSION - OPTION 2												
DOOR MARK	DOOR TYPE	DESCRIPTION	Count	DIMENSIONS			MATERIALS					
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP
A	A	INTERIOR SWING DOOR - BEDROOM/BATHROOM	1	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	2
B	B	INTERIOR BYPASS CLOSET DOOR	1	5'-0"	6'-8"	0'-2"	SC	PTD	N/A	WD	PTD	4
E	E	EXTERIOR SWING DOOR - FRONT DOOR	1	3'-0"	6'-8"	0'-1 3/8"	WD	STD/PTD	GL-2 TEMP	WD	STD/PTD	1



3 GARAGE CONVERSION - FRONT ELEVATION - OPTION 3  
1/4" = 1'-0"

DOOR SCHEDULE - GARAGE CONVERSION - OPTION 3												
DOOR MARK	DOOR TYPE	DESCRIPTION	Count	DIMENSIONS			MATERIALS					
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP
A	A	INTERIOR SWING DOOR - BEDROOM/BATHROOM	1	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	2
B	B	INTERIOR BYPASS CLOSET DOOR	1	5'-0"	6'-8"	0'-2"	SC	PTD	N/A	WD	PTD	4
F6	F	EXTERIOR 6'-0" FRENCH DOOR WITH GLAZING	1	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT	PER MFR
F6	F	EXTERIOR 6'-0" FRENCH DOOR WITH GLAZING	1	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT	PER MFR



1 GARAGE CONVERSION - FRONT ELEVATION - OPTION 1  
1/4" = 1'-0"

WINDOW SCHEDULE - GARAGE CONVERSION - OPTION 1							
TAG	OPERATION	COUNT	UNIT WIDTH	UNIT HEIGHT	HEAD HEIGHT	SILL HEIGHT	NOTES
3	SINGLE HUNG	2	3'-0"	4'-0"	6'-8"	2'-8"	PROVIDE TEMPERED PANE OF EXTERIOR GLAZING IN WUI OR W/IN 24" ARC OF DOOR

DOOR SCHEDULE - GARAGE CONVERSION - OPTION 1												
DOOR MARK	DOOR TYPE	DESCRIPTION	Count	DIMENSIONS			MATERIALS					
				UNIT WIDTH	UNIT HEIGHT	THICKNESS	DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE GROUP
A	A	INTERIOR SWING DOOR - BEDROOM/BATHROOM	1	3'-0"	7'-0"	0'-2"	SC	PTD	N/A	WD	PTD	2
B	B	INTERIOR BYPASS CLOSET DOOR	1	5'-0"	6'-8"	0'-2"	SC	PTD	N/A	WD	PTD	4
F6	F	EXTERIOR 6'-0" FRENCH DOOR WITH GLAZING	1	6'-0"	6'-8"	0'-1 3/8"	COMP	INT	GL-2 TEMP	COMP	INT	PER MFR

### GARAGE CONVERSION NOTES

- LOCATIONS OF EXTERIOR LIGHT FIXTURES ARE SHOWN GENERALLY. HOMEOWNER TO COORDINATE LOCATION OF EXTERIOR LIGHTING FIXTURES WITH CONTRACTOR.
- EXTERIOR FINISH/SIDING AT AREA OF GARAGE DOOR INFILL SHALL MATCH PRIMARY UNIT.
- STYLE OF EXTERIOR DOORS, WINDOWS, AND DOOR/WINDOW TRIM SHALL BE DETERMINED BY HOMEOWNER AND COORDINATED WITH CONTRACTOR PRIOR TO CONSTRUCTION.
- DIMENSIONS ON ELEVATIONS ARE TAKEN FROM CENTERLINE OF (E) GARAGE DOOR OPENING.
- ATTIC ACCESS: AT ENCLOSED CEILINGS A READILY ACCESSIBLE ATTIC ACCESS, MINIMUM 22" X 30" SHOULD BE LOCATED WHERE AT LEAST 30" OF UNOBSTRUCTED HEADROOM OCCURS AND ATTIC SPACE EXCEEDS 30 SQ. FT. [CRC R807.1]

### ELEVATION NOTES

- ELEVATION DIMENSIONS ARE TO GRIDLINE OR CENTERLINE OF WINDOWS, UON.
- GRIDLINES ARE TO EDGE OF CONCRETE, CENTERLINE OF FOOTING, OR CENTERLINE OF STRUCTURAL ELEMENTS, UNLESS OTHERWISE NOTED.
- SEE SHEET A5.0 FOR EXTERIOR WALL TYPES AND DETAILS.
- MATERIALS INDICATED ARE SHOWN GENERICALLY. ACTUAL MATERIALS ARE AS SELECTED BY THE OWNER.
- BUILDING HEIGHT MAXIMUM SHALL BE 16'-0" ABOVE AVERAGE NATURAL GRADE. (THE AVG. GRADE HEIGHT AT ALL BUILDING CORNERS). CONTRACTOR TO VERIFY PRIOR TO CONSTRUCTION.
- DOORBELL BUTTONS OR CONTROLS, WHEN INSTALLED, SHALL NOT EXCEED 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON ASSEMBLY. WHERE DOORBELL BUTTONS INTEGRATED WITH OTHER FEATURES ARE REQUIRED TO BE INSTALLED ABOVE 48 INCHES MEASURED FROM THE EXTERIOR FLOOR OR LANDING, A STANDARD DOORBELL BUTTON OR CONTROL SHALL ALSO BE PROVIDED AT A HEIGHT NOT EXCEEDING 48 INCHES ABOVE EXTERIOR FLOOR OR LANDING, MEASURED FROM THE TOP OF THE DOORBELL BUTTON OR CONTROL. CRC327.1.4

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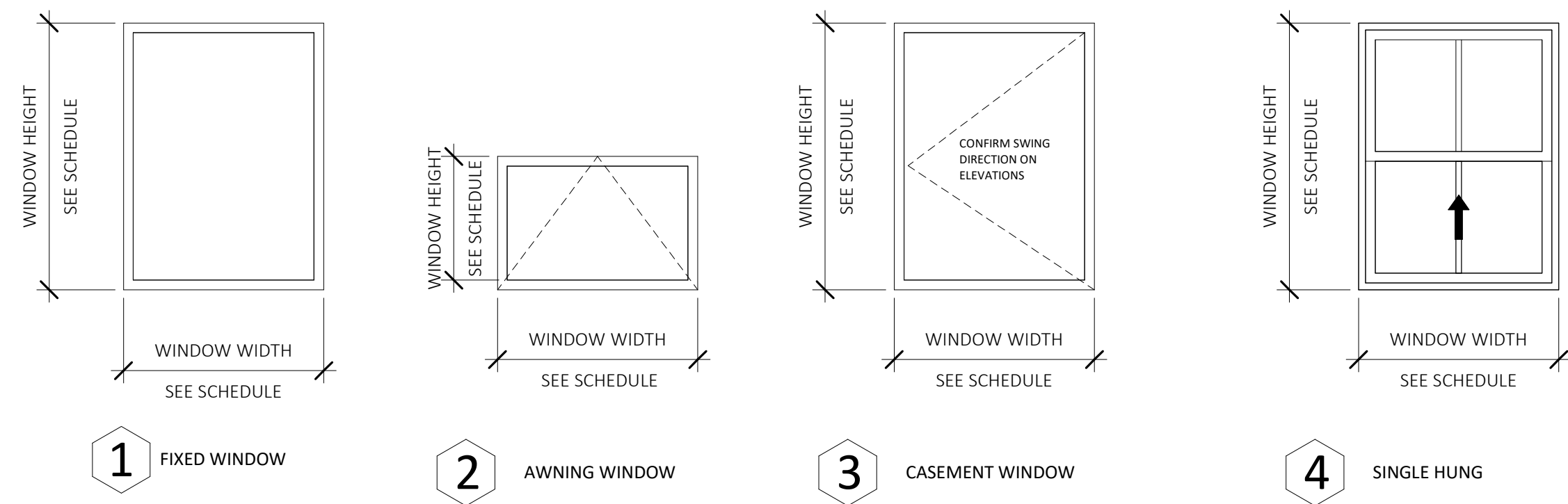
**REVERSE -  
EXTERIOR  
ELEVATION OPTIONS**

**A1.1R**

SCALE: AS NOTED

NOT FOR CONSTRUCTION

## WINDOW TYPES - GARAGE CONVERSION



WINDOW STYLE, TRIM, AND MUNTIN DESIGN TO BE DETERMINED BY HOMEOWNER TO MATCH (E) DWELLING. COORDINATE WITH CONTRACTOR PRIOR TO ORDERING.

## TEMPERED GLAZING LOCATIONS

INDIVIDUAL GLAZED AREAS, INCLUDING GLASS MIRROR, IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION 2406.3 OF THE CBC OR R308.4.2 SHALL INCLUDE THE FOLLOWING:

- GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOORS SHALL BE TEMPERED.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE FOLLOWING CRITERIA SHALL BE TEMPERED:
  - THE EXPOSED AREA IS GREATER THAN 9 SQ. FT.
  - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR.
  - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE THE FLOOR.
  - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES, MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE PLANE OF THE GLAZING.
  - WHERE THE GLAZING IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
  - WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
- GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR ADJACENT TO HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.

## WINDOW NOTES

- IN BEDROOMS WITHOUT EXTERIOR DOORS, AT LEAST ONE WINDOW SHALL MEET EMERGENCY EGRESS REQUIREMENTS. MECHANISMS TO OPEN WINDOW CANNOT BLOCK OR OBSTRUCT MINIMUM EGRESS OPENING REQUIREMENTS.
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ.FT. (0.530 SQ. METERS) OR 5 SQ.FT. AT GRADE FLOOR. (R310.2)
- THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES AND THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. (R310.2.2)
- EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR (R310.2.3)
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM SERVED. (CRC R303.1)

## WINDOW MATERIAL LEGEND

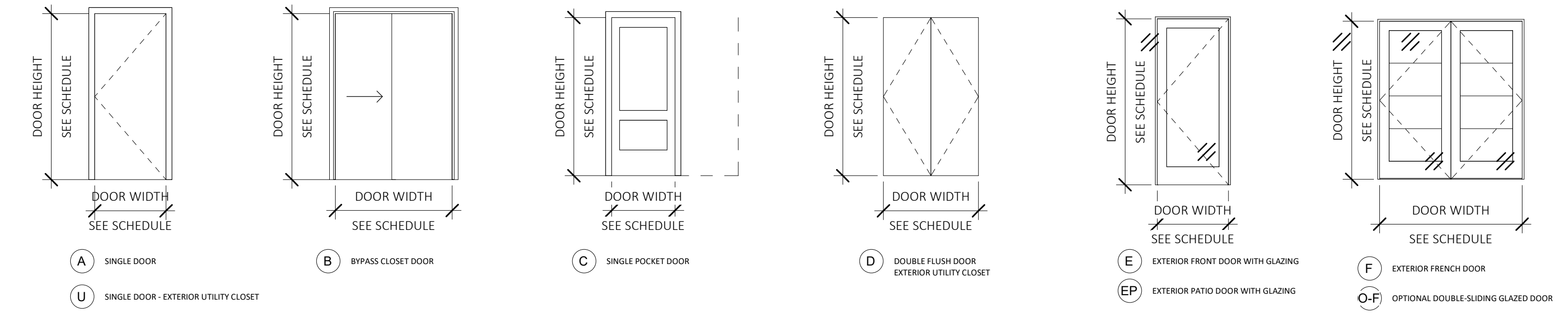
FRAME MATERIAL	FRAME FINISH
WD WOOD	PTD PAINTED
WC WOOD-CLAD	ST STAINED
FIBR FIBERGLASS	ANNO ANNODIZED ALUM
ALUM ALUMINUM	INT INTEGRAL COLOR
VIN VINYL	
COMP COMPOSITE	
E EXISTING	

## GLAZING TYPES

REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.

- GL-1 1" OVERALL DOUBLE GLAZED UNIT
- GL-2 1" OVERALL DOUBLE GLAZED UNIT, TEMPERED
- GL-3 1" OVERALL DOUBLE GLAZED UNIT, TEMPERED, TRANSLUCENT

## DOOR TYPES

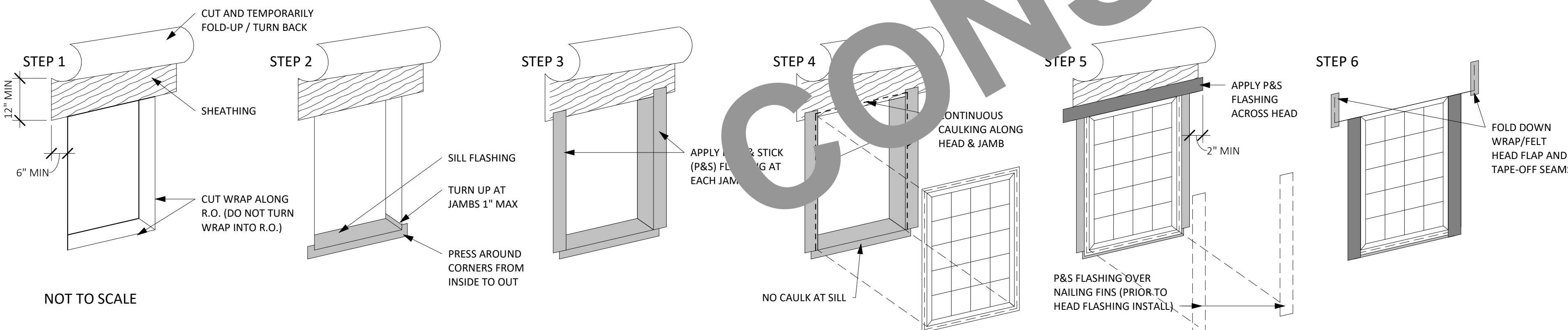


## DOOR MATERIAL LEGEND

DOOR MATERIAL	DOOR FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH
HC HOLLOW CORE WOOD	PTD PAINTED	REFER TO TITLE 24 REPORT FOR REQUIRED U-FACTOR AND SHGC VALUES, N.T.E.	WD WOOD	PTD PAINTED
SC SOLID CORE WOOD	ST STAINED		HM HOLLOW METAL	ST STAINED
HM HOLLOW METAL	ANNO ANNODIZED ALUM	GL-1 1" OVERALL DOUBLE GLAZED UNIT	ALUM ALUMINUM	ANNO ANNODIZED ALUM
ALUM ALUMINUM	INT INTEGRAL COLOR	GL-2 1" OVERALL DOUBLE GLAZED UNIT, TEMPERED	VIN VINYL	INT INTEGRAL COLOR
VIN VINYL		GL-3 1" OVERALL DOUBLE GLAZED UNIT, TEMPERED, TRANSLUCENT	COMP COMPOSITE	
COMP COMPOSITE			E EXISTING	
E EXISTING				

## DOOR HARDWARE SCHEDULE

GROUP	DESCRIPTION	HARDWARE
1	ENTRY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
2	TYP. INTERIOR DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
3	POCKET DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
4	CLOSET BY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
5	CLOSET DOUBLE FLUSH DOOR	HINGES: LOCK: HANDLE: THRESHOLD:
6	UTILITY DOOR	HINGES: LOCK: HANDLE: THRESHOLD:



### APPLIANCE AND SPECIALTY - TYPE A

DESCRIPTION	MANUFACTURER	MODEL	FINISH	NOTES
20" X 30" RECESSED MEDICINE CABINET				COORD. REQ. AT FRAMING
24" DISHWASHER				
24" ELECTRIC CLOTHES DRYER				
24" ELECTRIC WASHING MACHINE				
30" ELECTRIC RANGE				
30" MICROWAVE / HOOD VENT COMBO UNIT				REF. TO MANUF. REQ. FOR CLEARANCE AT COOKTOP
30" REFRIGERATOR				REF. TO MANUF. REQ. FOR CLEARANCE/DOOR SWING PRIOR TO ORDERING KITCHEN CABINETS

### LIGHTING FIXTURE SCHEDULE - TYPE A

TYPE	DESCRIPTION	MANUFACTURER	MODEL	COUNT
F1	LED DOWNLIGHT (LOW PROFILE)			8
F1 WP	LED DOWNLIGHT (LOW PROFILE / WATERPROOF)			2
F6	EXTERIOR LIGHT FIXTURE - DARK SKY RATED			2



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM  
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CONSTRUCTION**

WINDOW & DOOR  
TYPES, LIGHTING &  
APPLIANCE  
SCHEDULES

**A4.0**

SCALE: AS NOTED

# FIRE RATING NOTES

**R302.4.1 THROUGH PENETRATIONS.** THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2.

- EXCEPTIONS:**
- WHERE THE PENETRATING ITEMS ARE STEEL, FERROUS OR COPPER PIPES, TUBES OR CONDUITS, THE ANNULAR SPACE SHALL BE PROTECTED AS FOLLOWS:
    - IN CONCRETE OR MASONRY WALL OR FLOOR ASSEMBLIES, CONCRETE, GROUT OR MORTAR SHALL BE PERMITTED WHERE INSTALLED TO THE FULL THICKNESS OF THE WALL OR FLOOR ASSEMBLY OR THE THICKNESS REQUIRED TO MAINTAIN THE FIRE-RESISTANCE RATING, PROVIDED THAT BOTH OF THE FOLLOWING ARE COMPLIED WITH:
      - THE NOMINAL DIAMETER OF THE PENETRATING ITEM IS NOT MORE THAN 6 INCHES (152 MM).
      - THE AREA OF THE OPENING THROUGH THE WALL DOES NOT EXCEED 144 SQUARE INCHES (92 900 MM<sup>2</sup>).
    - THE MATERIAL USED TO FILL THE ANNULAR SPACE SHALL PREVENT THE PASSAGE OF FLAME AND HOT GASES SUFFICIENT TO IGNITE COTTON WASTE WHERE SUBJECTED TO ASTM E119 OR UL 263 TIME TEMPERATURE FIRE CONDITIONS UNDER A POSITIVE PRESSURE DIFFERENTIAL OF NOT LESS THAN 0.01 INCH OF WATER (3 Pa) AT THE LOCATION OF PENETRATION FOR THE TIME PERIOD EQUIVALENT TO THE FIRE-RESISTANCE RATING OF THE CONSTRUCTION PENETRATED.

2. THE ANNULAR SPACE CREATED BY THE PENETRATION OF WATER-FILLED FIRE SPRINKLER PIPING, PROVIDING THAT THE ANNULAR SPACE IS FILLED USING A MATERIAL COMPLYING WITH ITEM 1.2 OF EXCEPTION 1.

**R302.4.1.1 FIRE-RESISTANCE-RATED ASSEMBLY.** PENETRATIONS SHALL BE INSTALLED AS TESTED IN THE APPROVED FIRE-RESISTANCE-RATED ASSEMBLY.

**R302.4.1.2 PENETRATION FIRESTOP SYSTEM.** PENETRATIONS SHALL BE PROTECTED BY AN APPROVED PENETRATION FIRESTOP SYSTEM INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E814 OR UL 1479, WITH A POSITIVE PRESSURE DIFFERENTIAL OF NOT LESS THAN 0.01 INCH OF WATER (3 Pa) AND SHALL HAVE AN F RATING OF NOT LESS THAN THE REQUIRED FIRE-RESISTANCE RATING OF THE WALL OR FLOOR-CEILING ASSEMBLY PENETRATED.

**R302.4.2 MEMBRANE PENETRATIONS.** MEMBRANE PENETRATIONS SHALL COMPLY WITH SECTION R302.4.1. WHERE WALLS ARE REQUIRED TO HAVE A FIRE-RESISTANCE RATING, RECESSED FIXTURES SHALL BE INSTALLED SO THAT THE REQUIRED FIRE-RESISTANCE RATING WILL NOT BE REDUCED.

- EXCEPTIONS:**
- MEMBRANE PENETRATIONS OF NOT MORE THAN 2-HOUR FIRE-RESISTANCE-RATED WALLS AND PARTITIONS BY STEEL ELECTRICAL BOXES THAT DO NOT EXCEED 16 SQUARE INCHES (0.0103 M<sup>2</sup>) IN AREA PROVIDED THAT THE AGGREGATE AREA OF THE OPENINGS THROUGH THE MEMBRANE DOES NOT EXCEED 100 SQUARE INCHES (0.0645 M<sup>2</sup>) IN ANY 100 SQUARE FEET (9.29 M<sup>2</sup>) OF WALL AREA. THE ANNULAR SPACE BETWEEN THE WALL MEMBRANE AND THE BOX SHALL NOT EXCEED 1/8 INCH (3.1 MM). SUCH BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY ONE OF THE FOLLOWING:
    - BY A HORIZONTAL DISTANCE OF NOT LESS THAN 24 INCHES (610 MM) WHERE THE WALL OR PARTITION IS CONSTRUCTED WITH INDIVIDUAL NONCOMMUNICATING STUD CAVITIES.
    - BY A HORIZONTAL DISTANCE OF NOT LESS THAN THE DEPTH OF THE WALL CAVITY WHERE THE WALL CAVITY IS FILLED WITH CELLULOSE LOOSE-FILL, ROCKWOOL OR SLAG MINERAL INSULATIONS.
    - BY SOLID FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11.
    - BY PROTECTING BOTH BOXES WITH LISTED PUTTY PADS.
    - BY OTHER LISTED MATERIALS AND METHODS.

2. MEMBRANE PENETRATIONS BY LISTED ELECTRICAL BOXES OF ANY MATERIALS PROVIDED THAT THE BOXES HAVE BEEN TESTED FOR USE IN FIRE-RESISTANCE-RATED ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTING. THE ANNULAR SPACE BETWEEN THE WALL MEMBRANE AND THE BOX SHALL NOT EXCEED 1/8 INCH (3.1 MM) UNLESS LISTED OTHERWISE. SUCH BOXES ON OPPOSITE SIDES OF THE WALL SHALL BE SEPARATED BY ONE OF THE FOLLOWING:
 

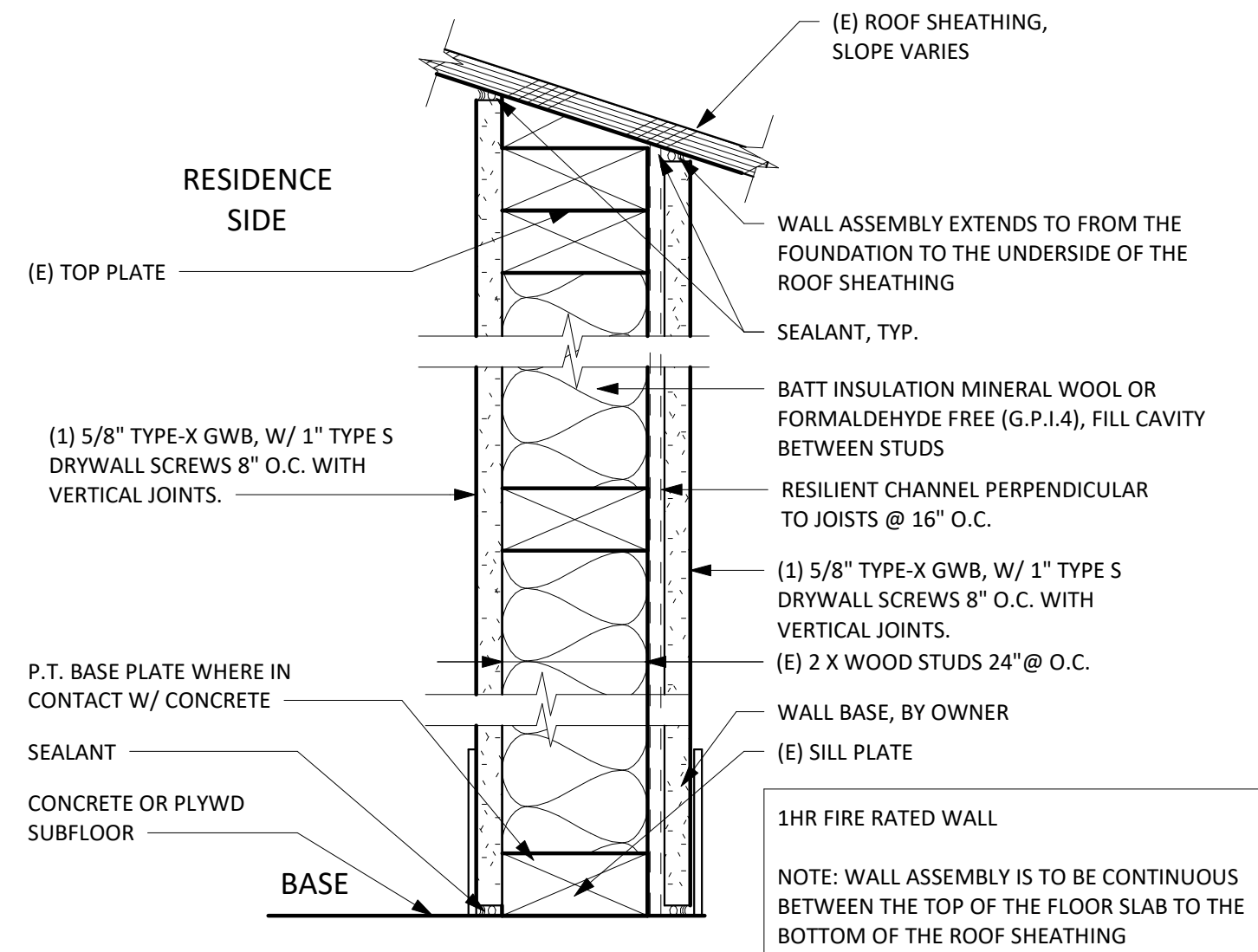
- BY THE HORIZONTAL DISTANCE SPECIFIED IN THE LISTING OF THE ELECTRICAL BOXES.
- BY SOLID FIREBLOCKING IN ACCORDANCE WITH SECTION R302.11.
- BY PROTECTING BOTH BOXES WITH LISTED PUTTY PADS.
- BY OTHER LISTED MATERIALS AND METHODS.

3. THE ANNULAR SPACE CREATED BY THE PENETRATION OF A FIRE SPRINKLER OR WATER-FILLED FIRE SPRINKLER PIPING, PROVIDED THAT THE ANNULAR SPACE IS COVERED BY A METAL ESCUTCHEON PLATE.

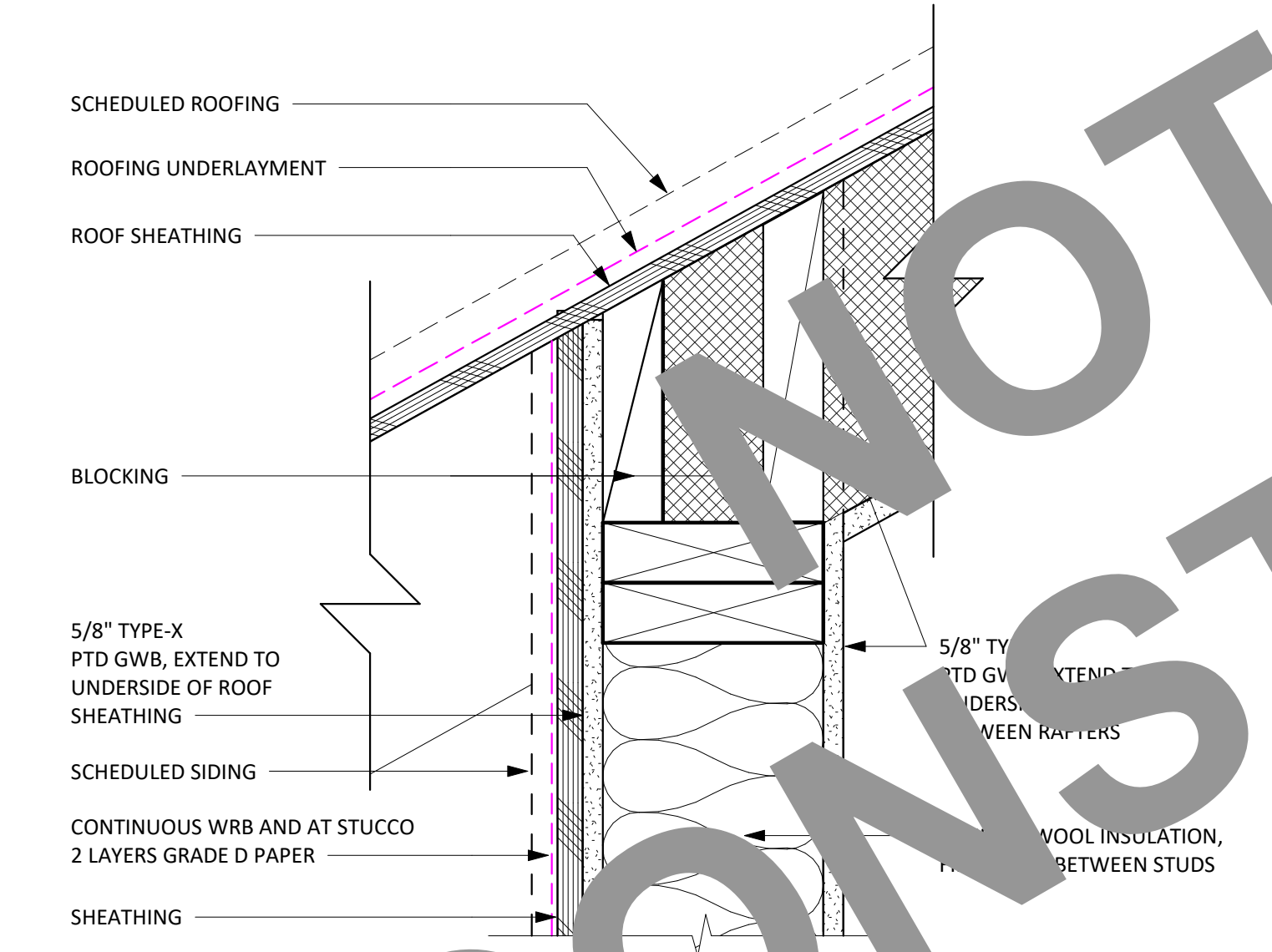
4. CEILING MEMBRANE PENETRATIONS BY LISTED LUMINAIRES OR BY LUMINAIRES PROTECTED WITH LISTED MATERIALS THAT HAVE BEEN TESTED FOR USE IN FIRE-RESISTANCE-RATED ASSEMBLIES AND ARE INSTALLED IN ACCORDANCE WITH THE INSTRUCTIONS INCLUDED IN THE LISTING.

# DETAIL GENERAL NOTES

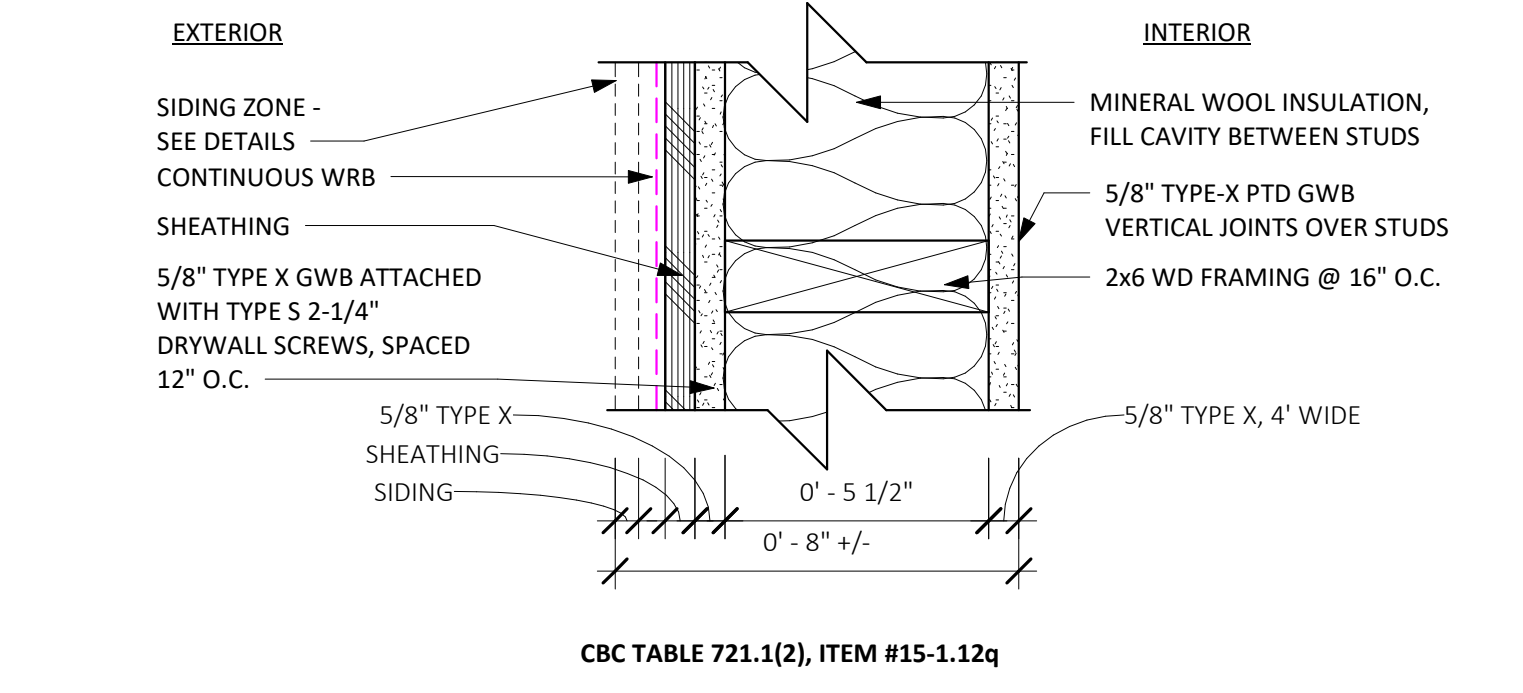
- BASIS OF OPAQUE WALL DESIGN IS HARDIE PANEL SIDING. FAILURE TO FOLLOW JAMES HARDIE WRITTEN INSTALLATION INSTRUCTION AND COMPLY WITH APPLICABLE BUILDING CODES MAY VIOLATE LOCAL LAWS, AFFECT BUILDING ENVELOPE PERFORMANCE, AND MAY AFFECT WARRANTY COVERAGE.
- BASIS OF WINDOW DESIGN IS ANDERSEN 100 SERIES COMPOSITE WINDOWS, COMPLYING WITH THE PERFORMANCE REQUIREMENTS INDICATED BY TITLE 24/MECHANICAL SHEETS AND TESTED ACCORDING TO NAFS.
- PROTECTION OF WOOD AND WOOD-BASED PRODUCTS FROM DECAY SHALL BE PROVIDED BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS AWPA U1 LISTED PRESERVATIVE-TREATED FOR WOOD SIDING, SHEATHING, AND WALL FRAMING ON THE EXTERIOR OF A BUILDING HAVING A CLEARANCE OF LESS THAN 6-INCHES FROM THE GROUND OR LESS THAN 2-INCHES MEASURED VERTICALLY FROM CONCRETE STEPS, PORCH SLABS, PATIO SLABS AND SIMILAR HORIZONTAL SURFACES EXPOSED TO WEATHER [IRC R317.1.5].
- REFERENCE STRUCTURAL DETAILS, DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL RELATED MEMBER SIZES, CONNECTION DETAILS, REBAR REQUIREMENTS AND SPACING, HARDWARE AND SPECIFICATIONS.
- CONFIRM WITH TITLE 24/MECHANICAL SHEETS FOR MINIMUM INSULATION VALUES.



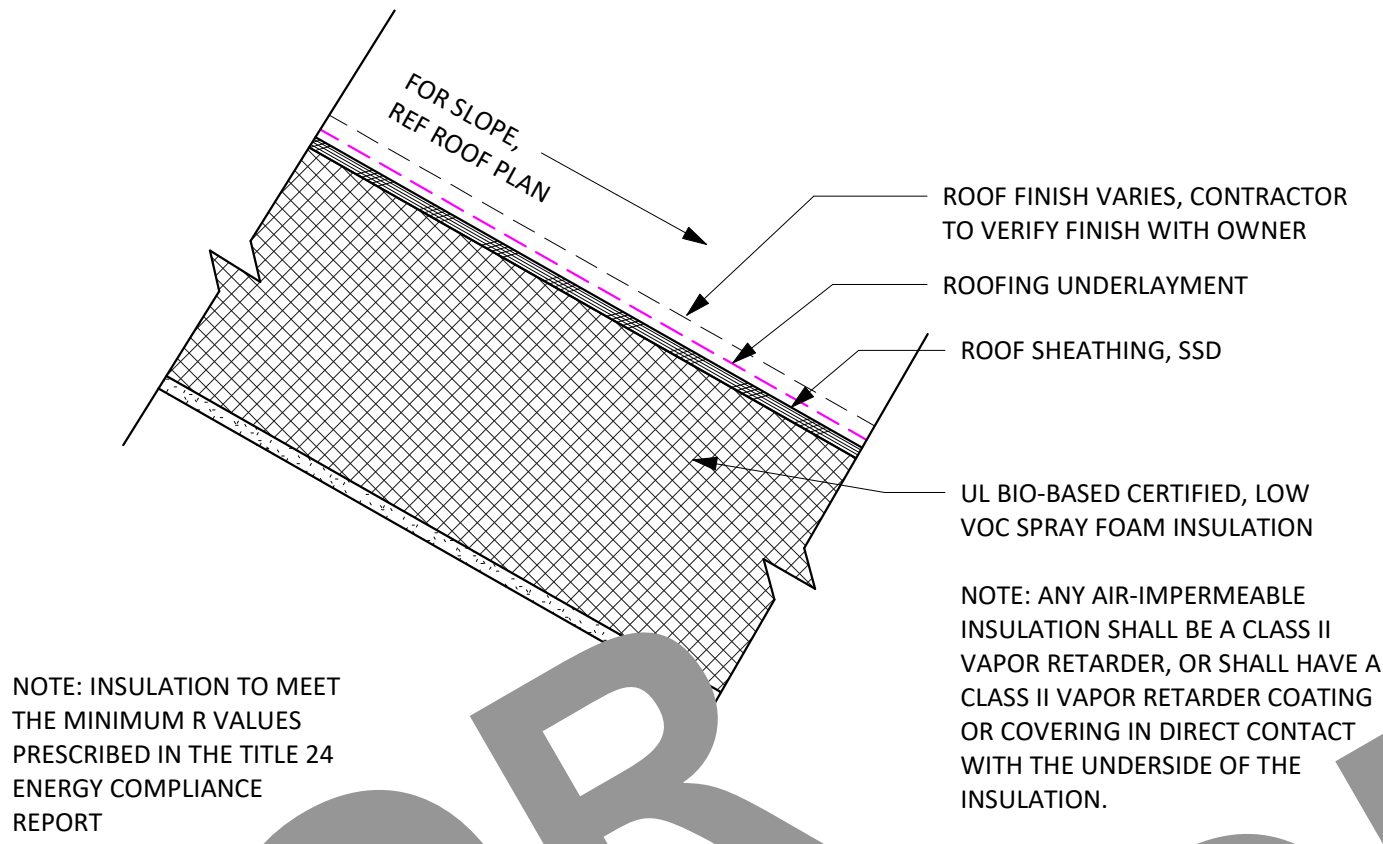
2 FIRE RATED INTERIOR WALL  
3\"/>



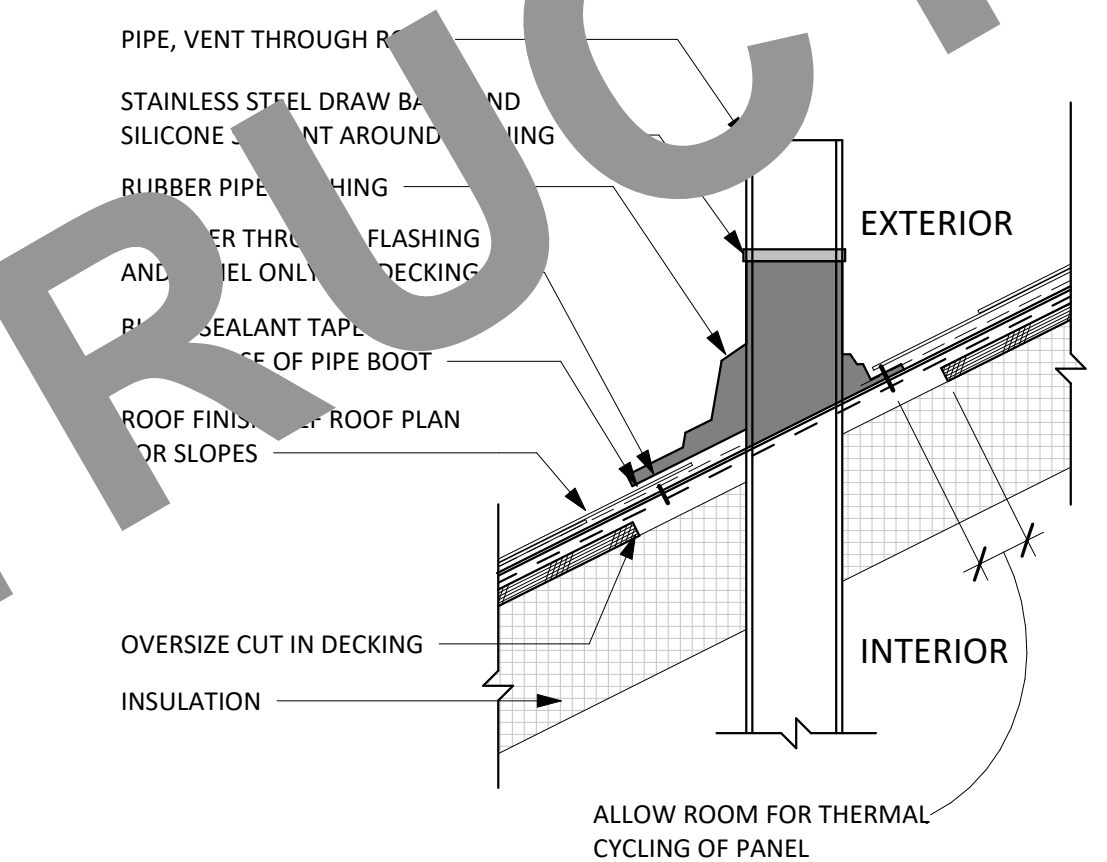
3 1-HOUR RATED ASSEMBLY AT ROOF  
3\"/>



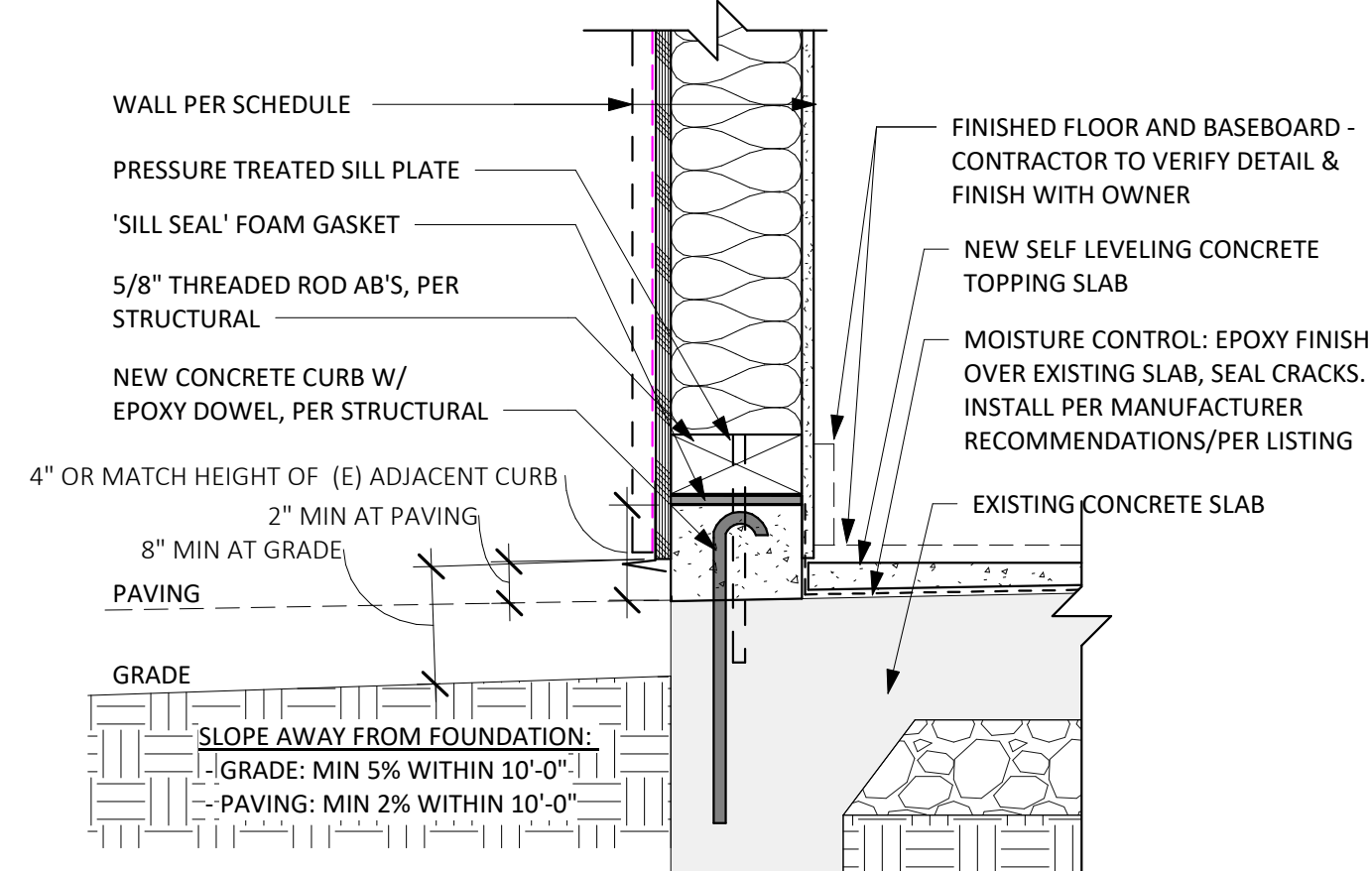
4 1-HOUR RATED ASSEMBLY-MID WALL  
3\"/>



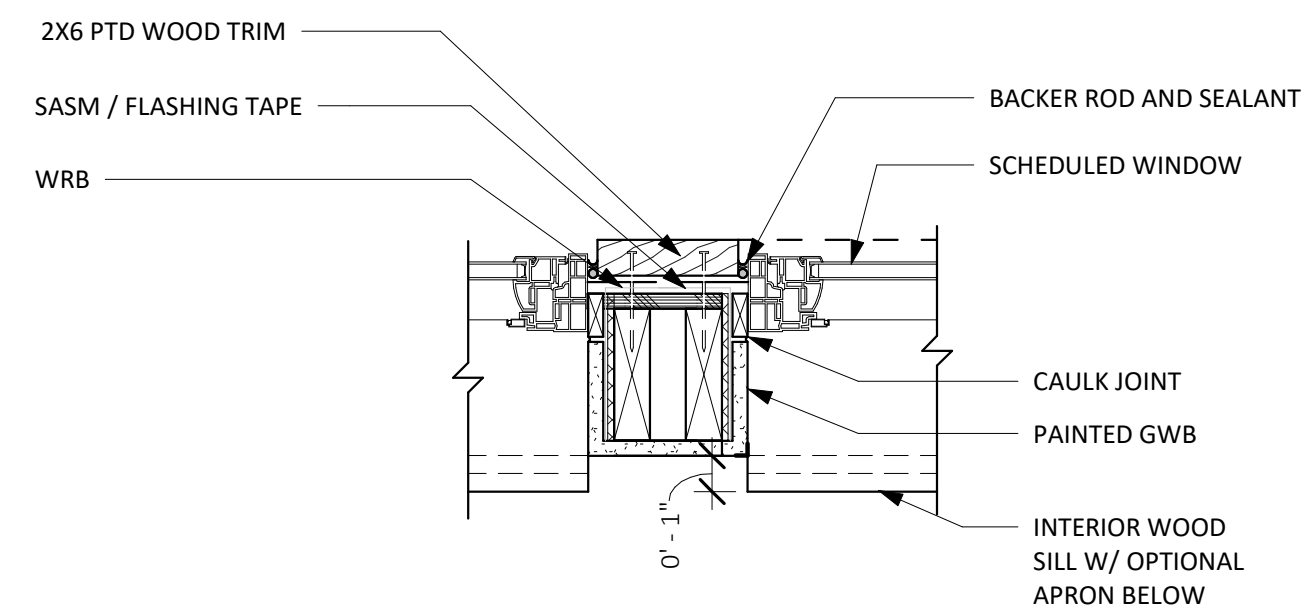
5 ALTERNATE ROOF INSULATION DETAIL  
1 1/2\"/>



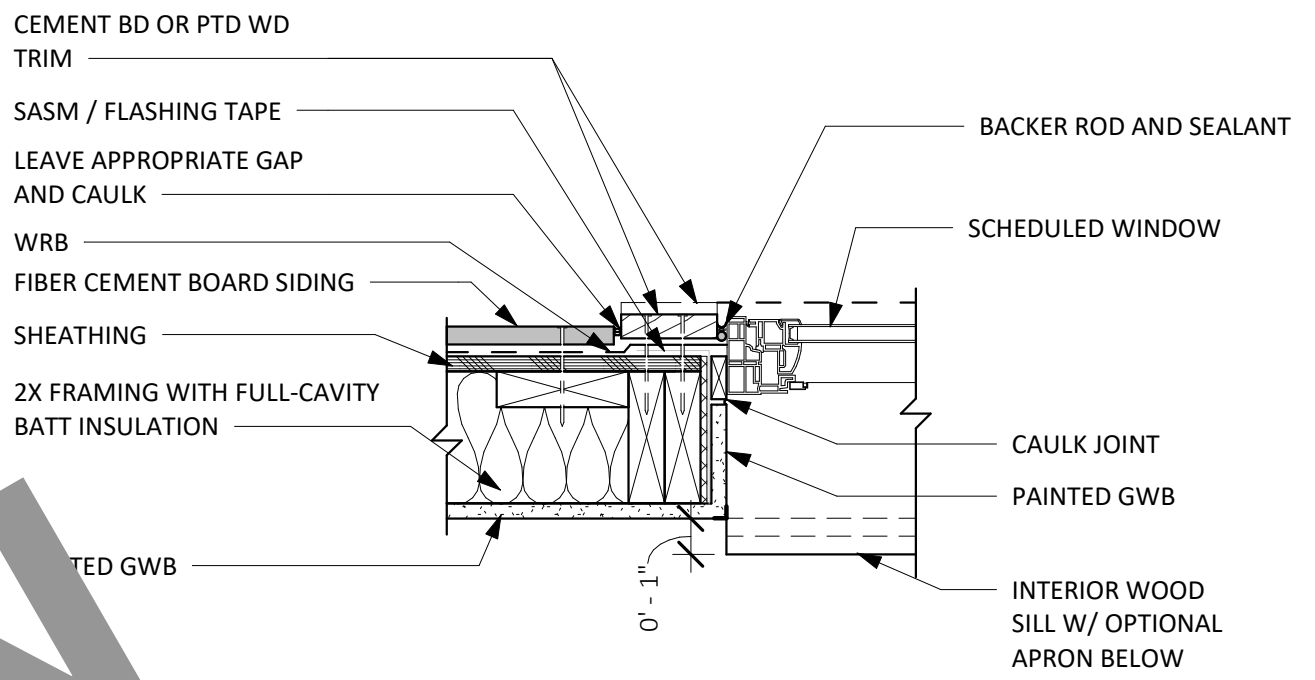
6 ROOF PENETRATION DETAIL  
1 1/2\"/>



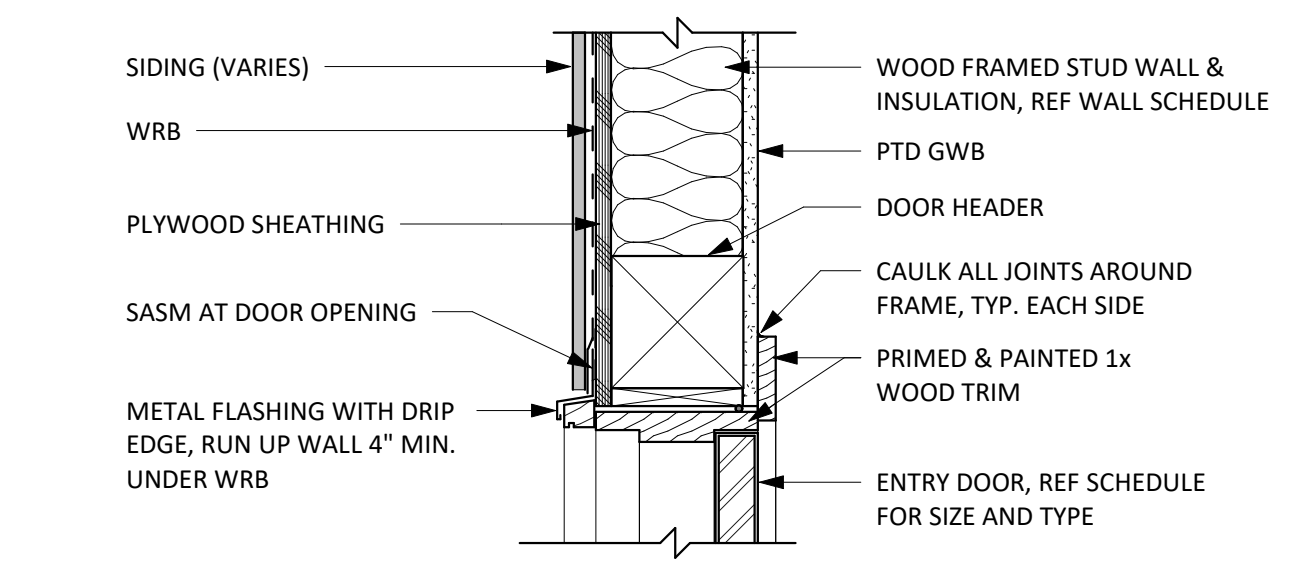
7 EXTERIOR WALL AT SLAB - GARAGE CONVERSION  
1 1/2\"/>



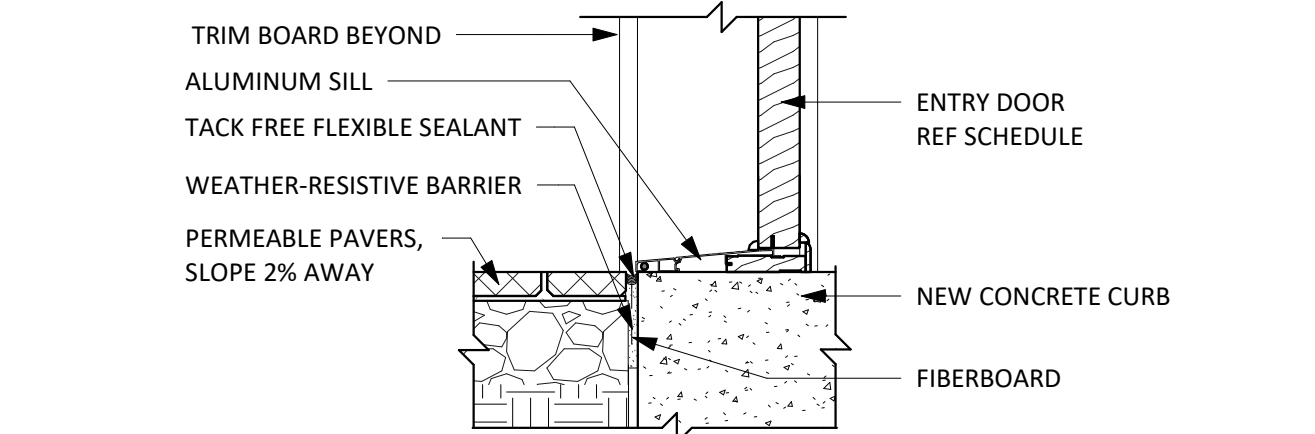
8 BASIC WINDOW JAMB WITH TRIM BETWEEN WINDOWS  
1 1/2\"/>



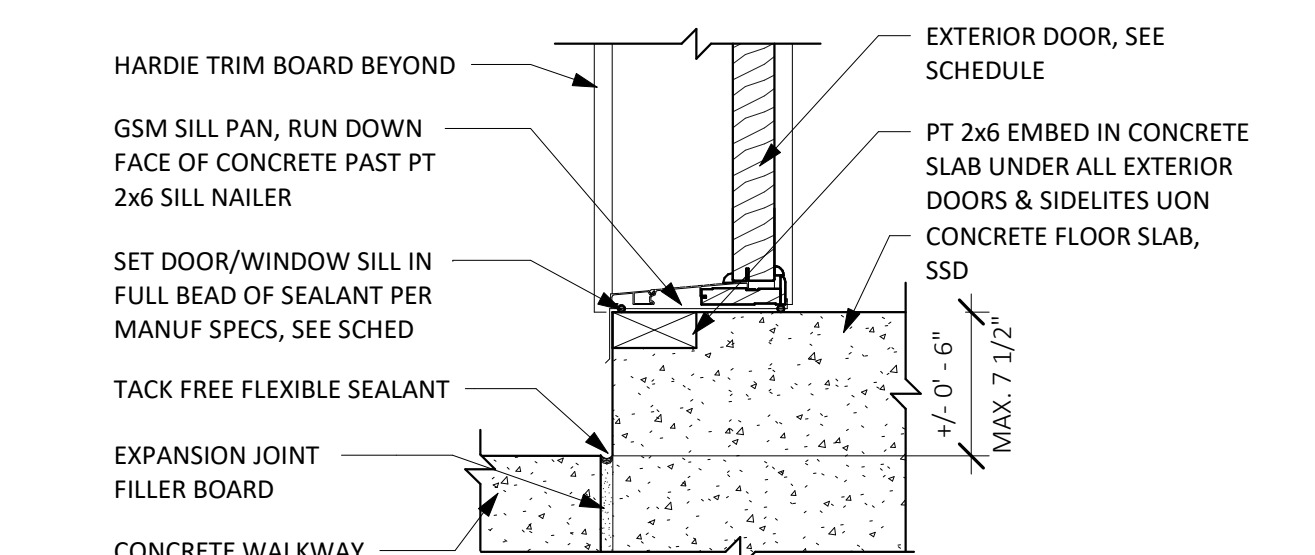
9 BASIC WINDOW JAMB  
1 1/2\"/>



10 SWING DOOR HEAD / JAMB  
1 1/2\"/>



11 ENTRY DOOR SILL AT PAVERS (IF APPLICABLE)  
1 1/2\"/>



12 ENTRY DOOR SILL @ CONCRETE SLAB (IF APPLICABLE)  
1 1/2\"/>



189 WALNUT AVENUE  
SANTA CRUZ, CA 95060  
WORKBENCHBUILT.COM  
P: 831.227.2217

**BROCKETT /ARCHITECT**

104 S. MAIN ST UNIT B  
TEMPLETON, CA 93465  
BROCKITECTURE.COM

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**BUELLTON PRE-DESIGNED ADU PROGRAM**  
GARAGE CONVERSION ADU

NOT FOR CONSTRUCTION

EXTERIOR DETAILS - GENERAL

**A5.0**

SCALE: AS NOTED

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**BUELLTON PRE-DESIGNED  
ADU PROGRAM  
GARAGE CONVERSION  
ADU**

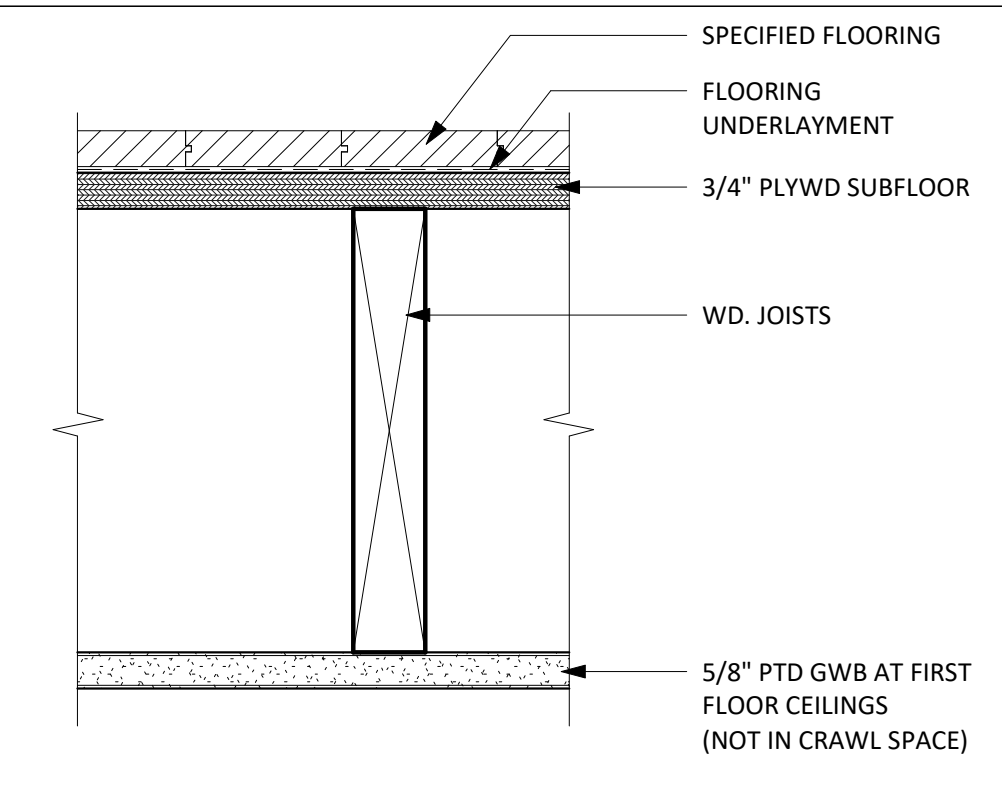
PRINT DATE: 1.25.2024

**NOT FOR  
CONSTRUCTION**

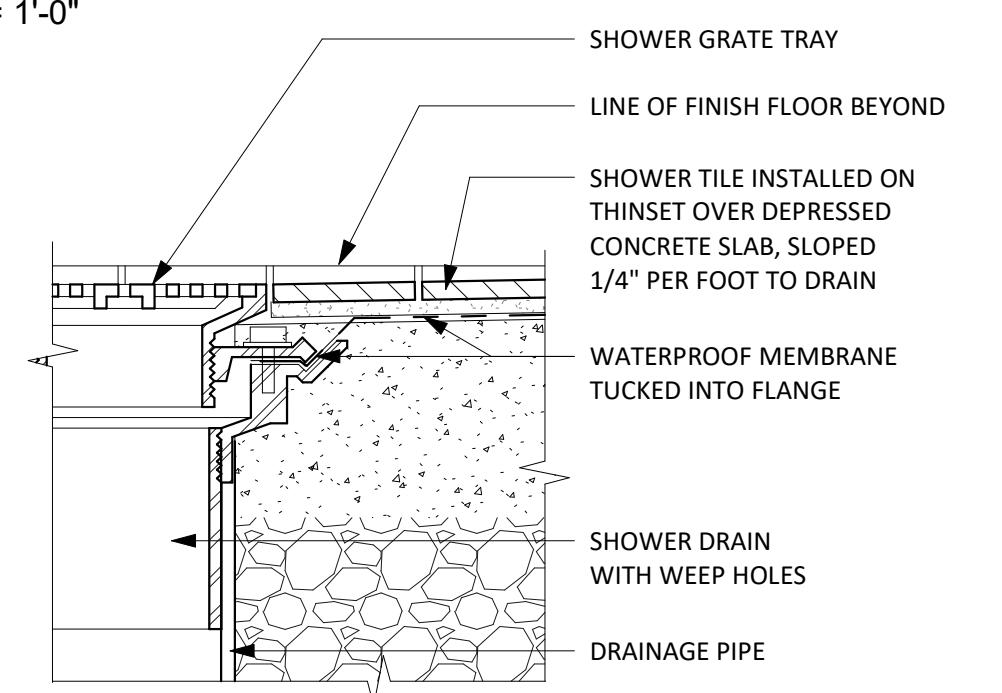
**INTERIOR DETAILS &  
WALL PARTITIONS**

**A5.2**

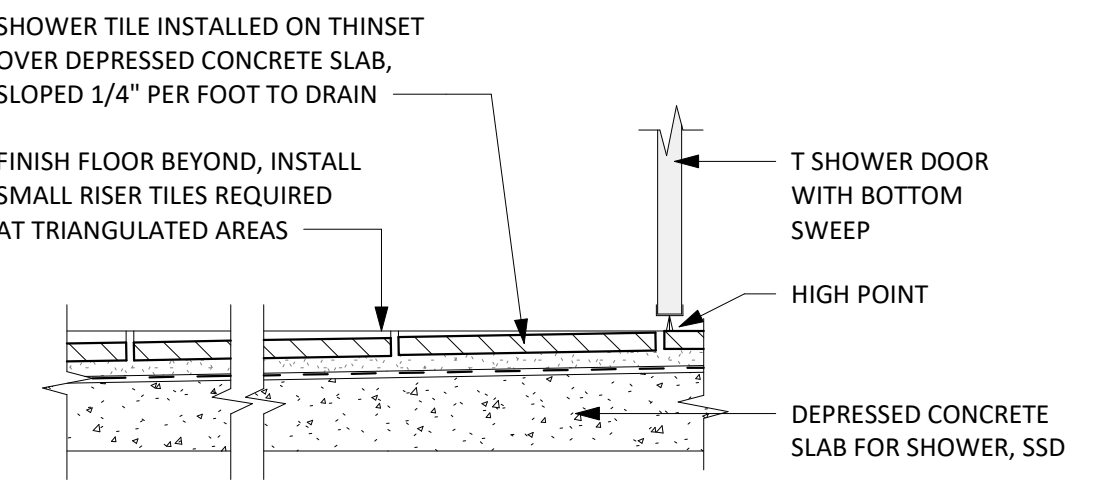
SCALE: AS NOTED



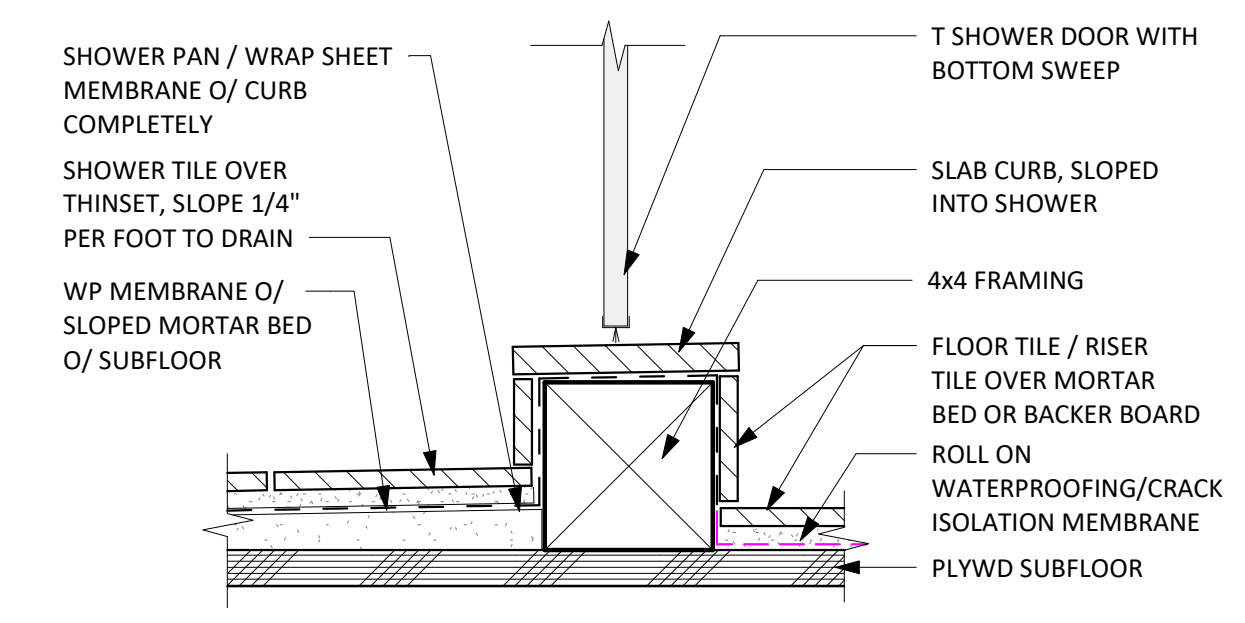
6 TYP. STORAGE LOFT FLOOR ASSEMBLY  
3" = 1'-0"



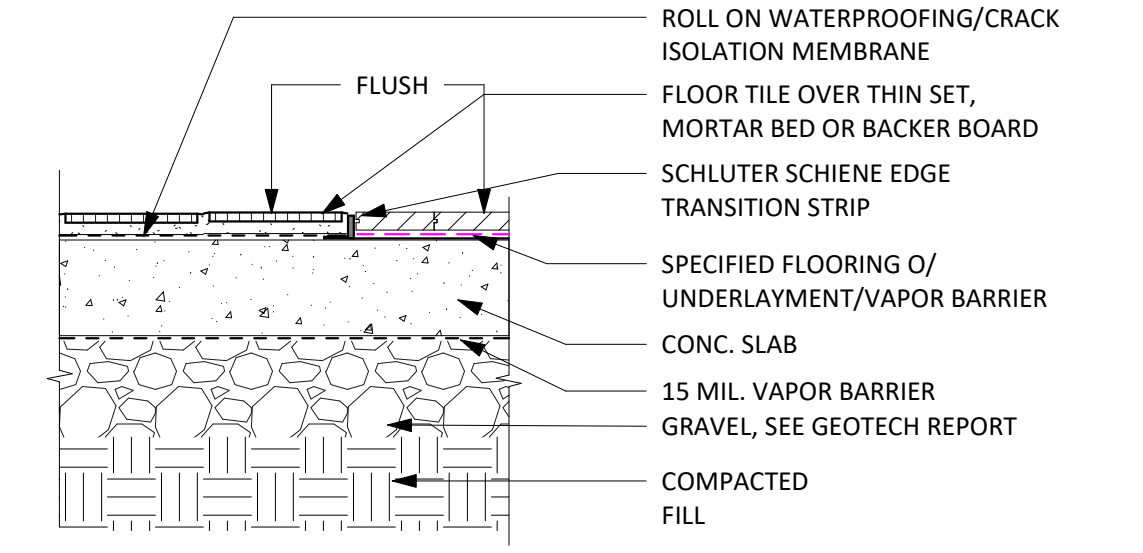
5 SHOWER DRAIN AT CONCRETE  
3" = 1'-0"



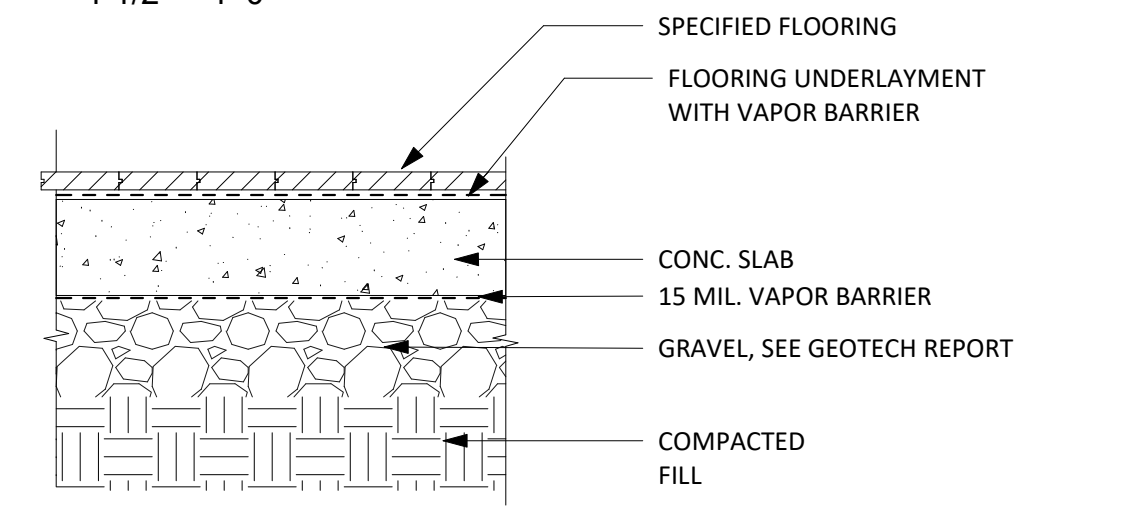
4 CURBLESS SHOWER DOOR AT SLAB (OPTIONAL)  
3" = 1'-0"



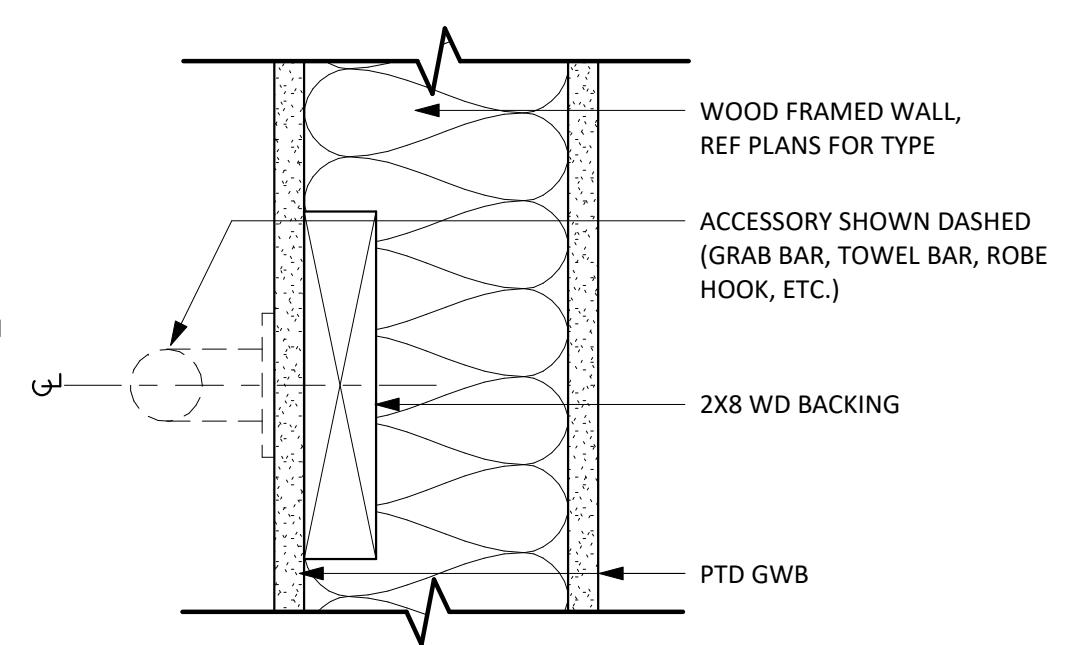
3 TYP. SHOWER CURB  
3" = 1'-0"



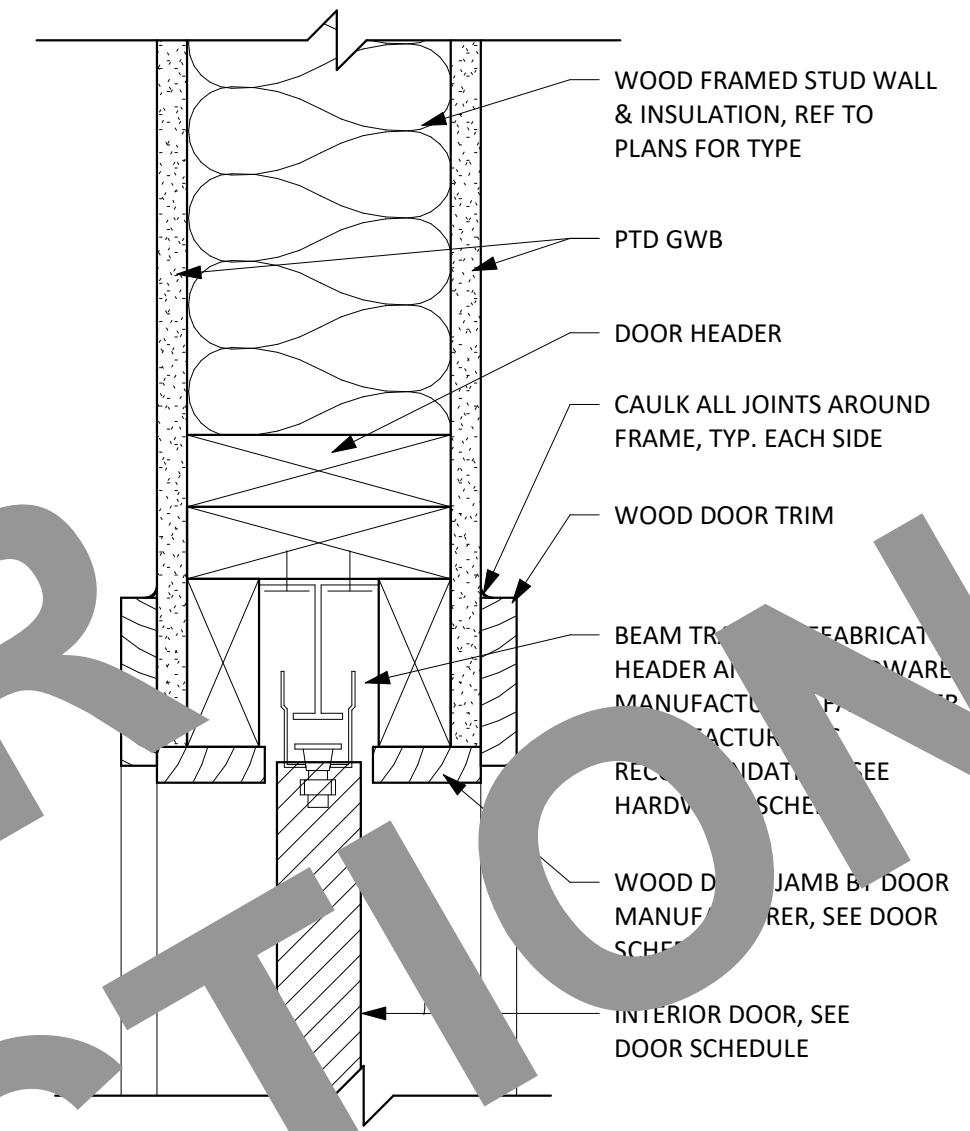
2 BASIC TILE TO WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



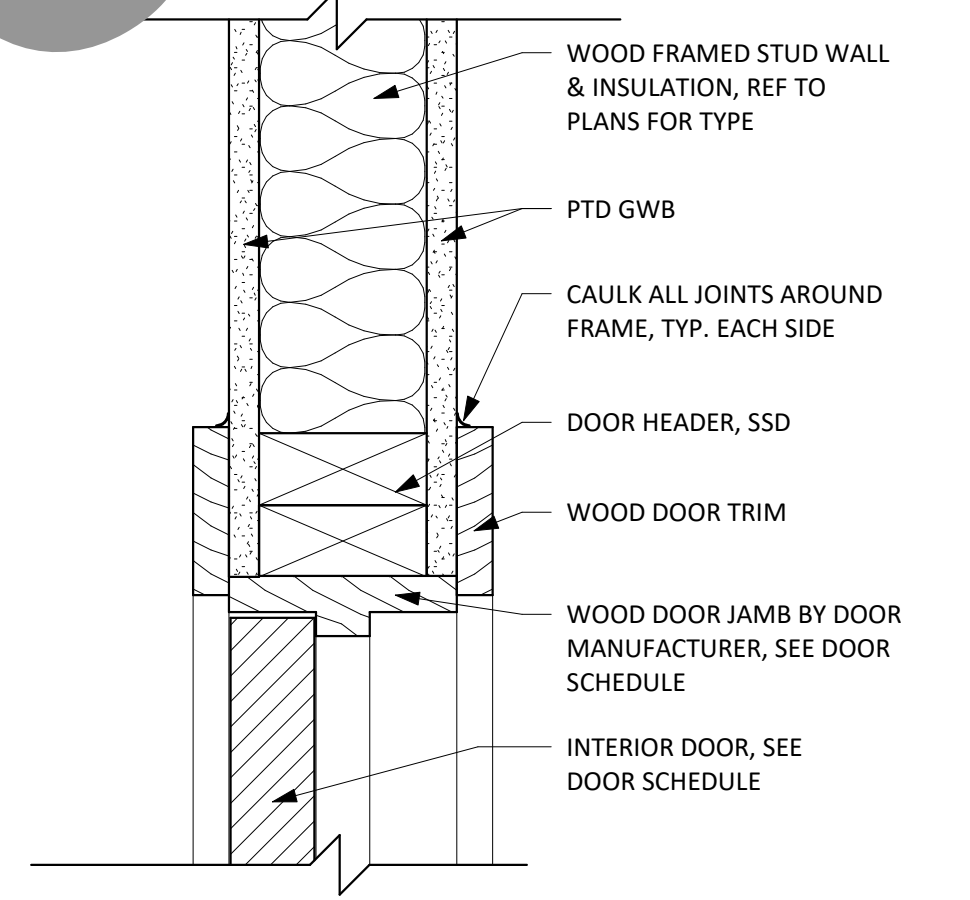
1 BASIC WOOD FLOOR AT SLAB  
1 1/2" = 1'-0"



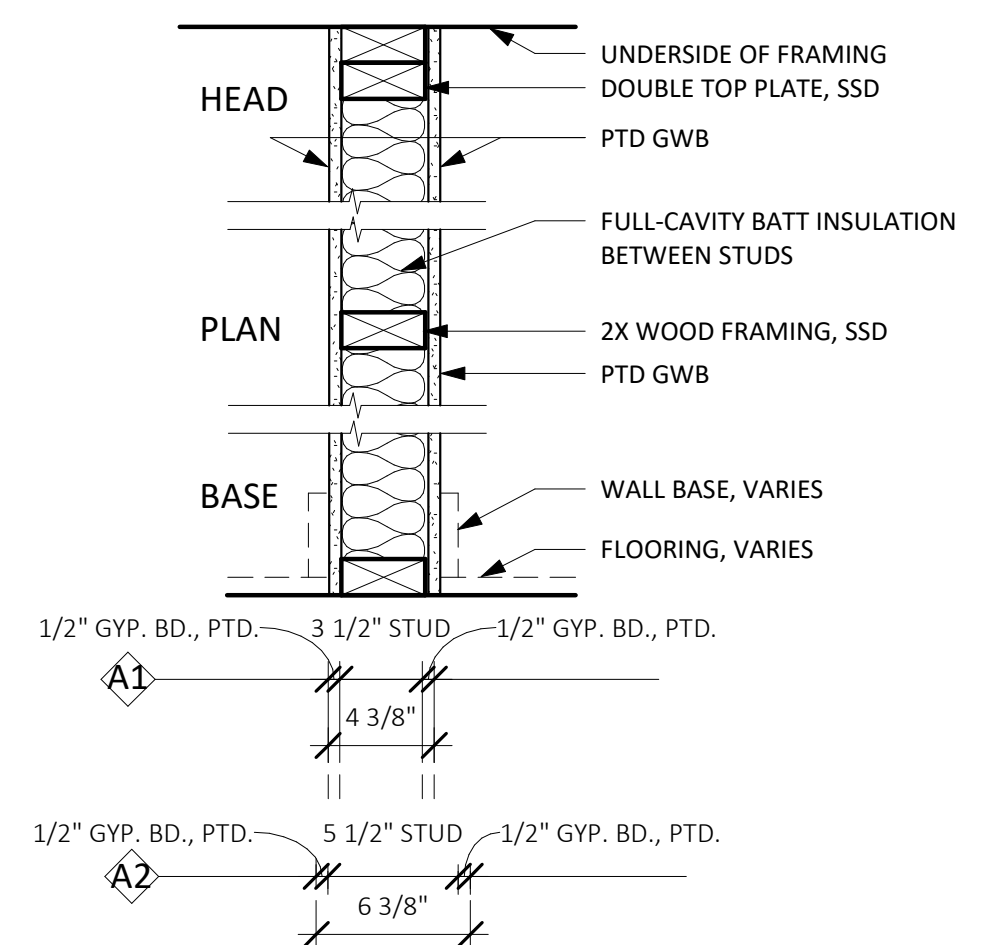
10 BLOCKING DETAIL  
3" = 1'-0"



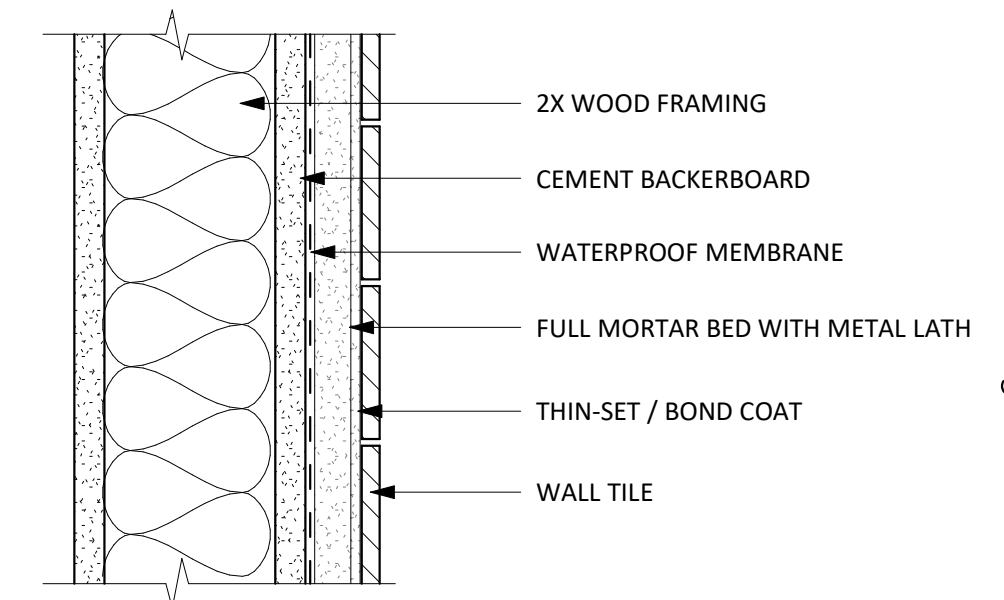
9 INTERIOR WOOD POCKET DOOR HEAD  
3" = 1'-0"



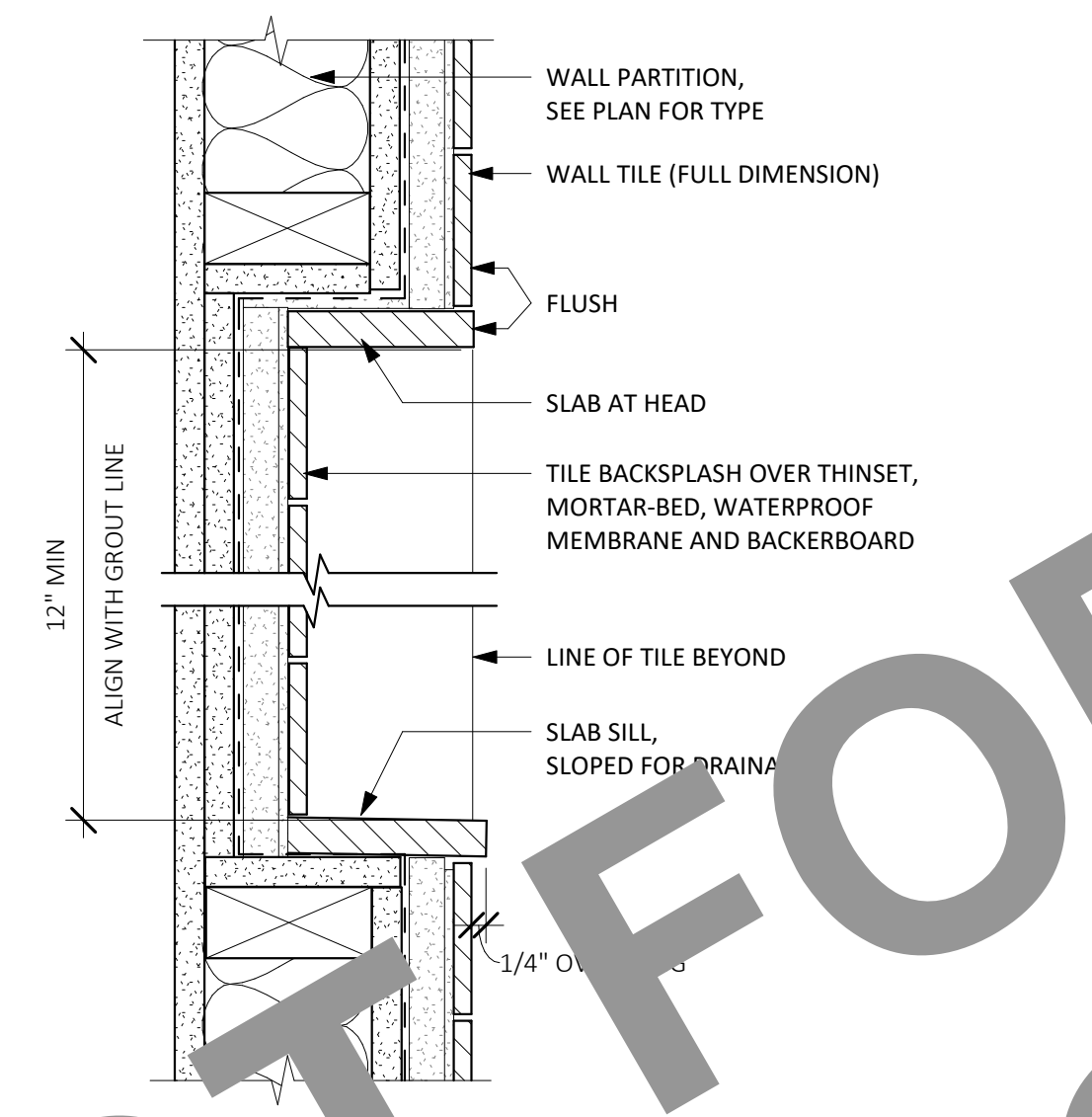
8 INTERIOR WOOD DOOR HEAD/JAMB SIM.  
3" = 1'-0"



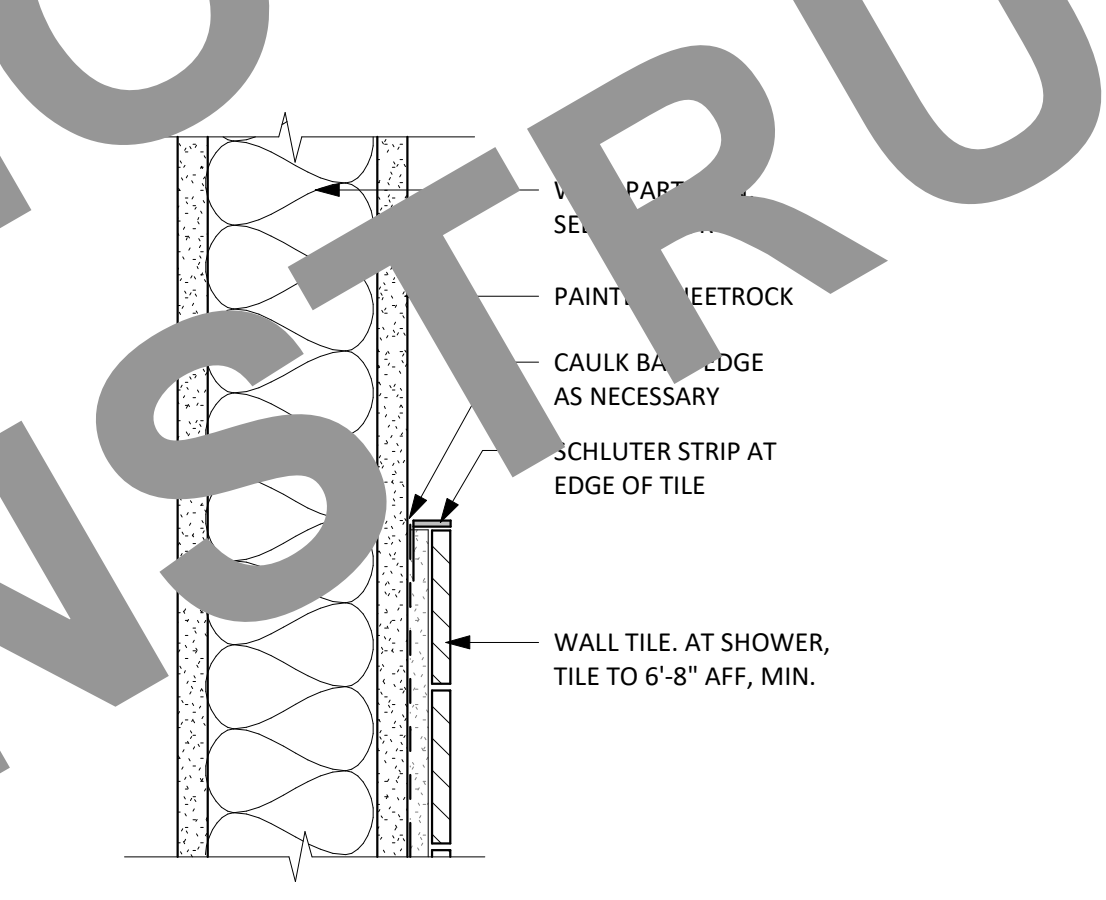
7 TYP. INTERIOR WALL PARTITION  
1 1/2" = 1'-0"



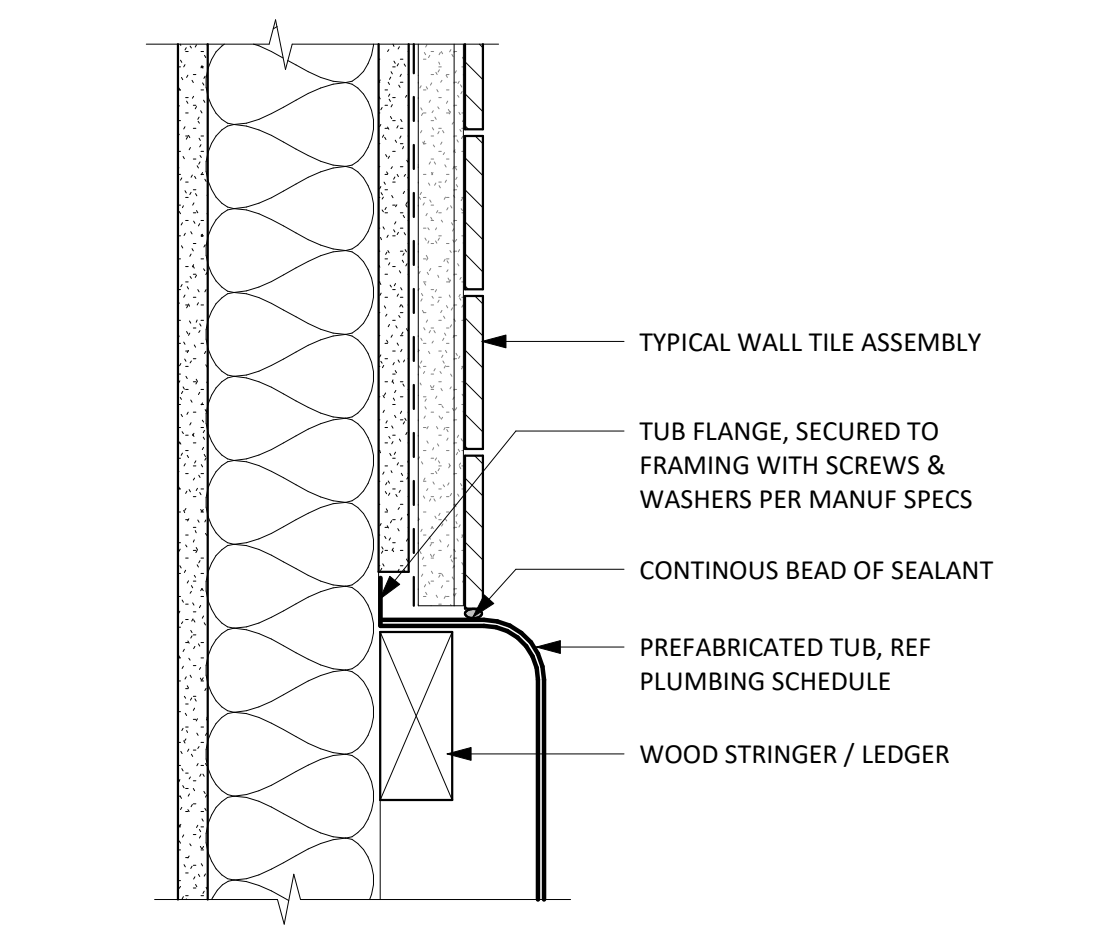
14 TYP. WALL TILE ASSEMBLY  
3" = 1'-0"



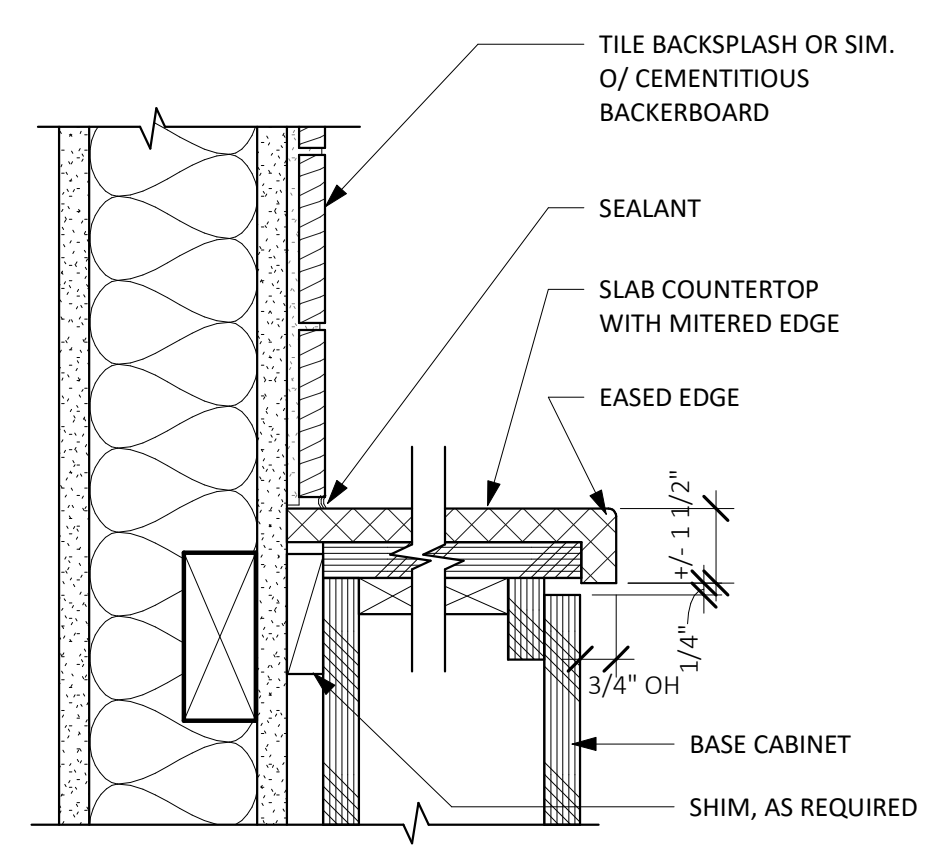
13 NICHE  
3" = 1'-0"



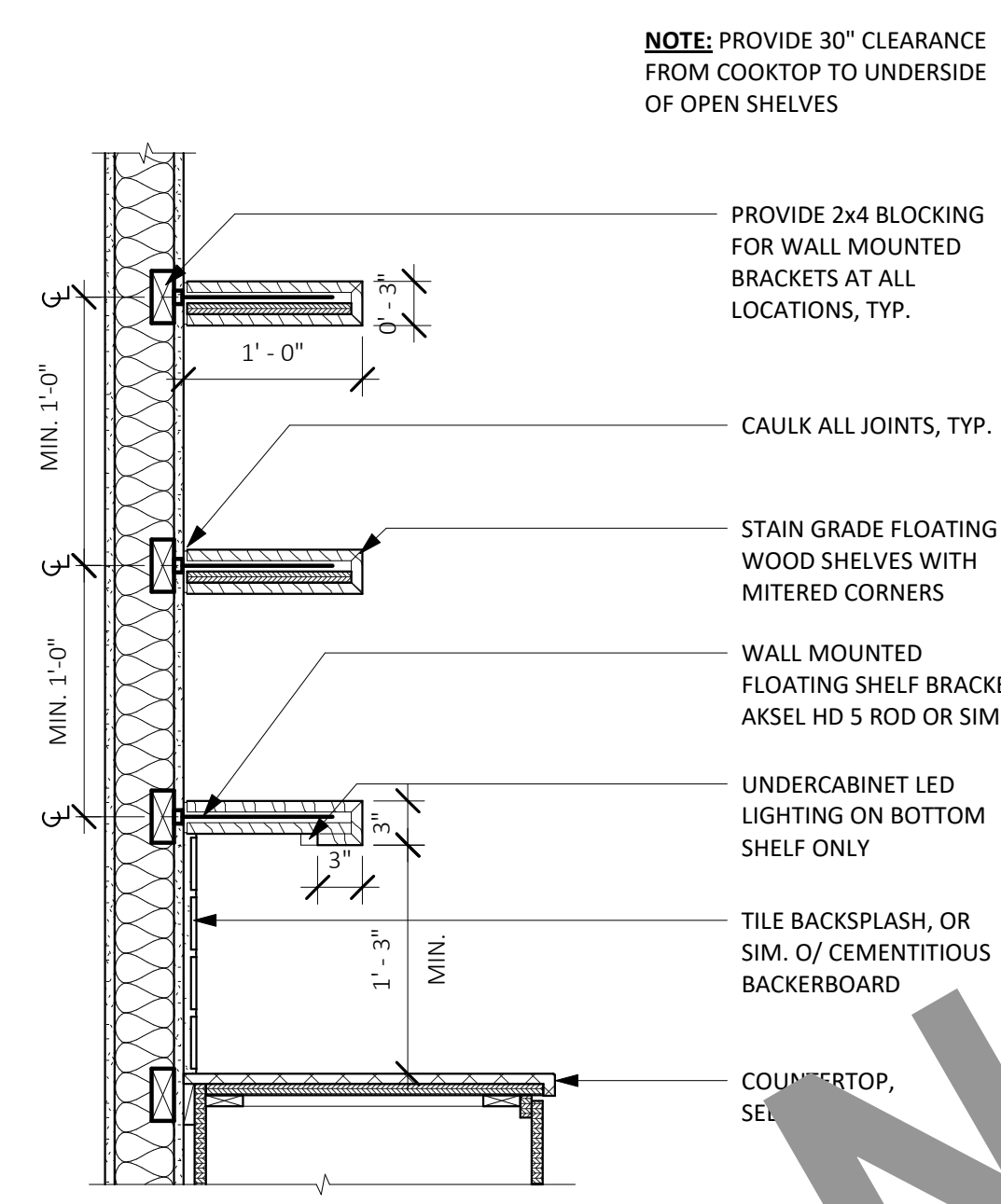
12 TILE / SHEETROCK TRANSITION  
3" = 1'-0"



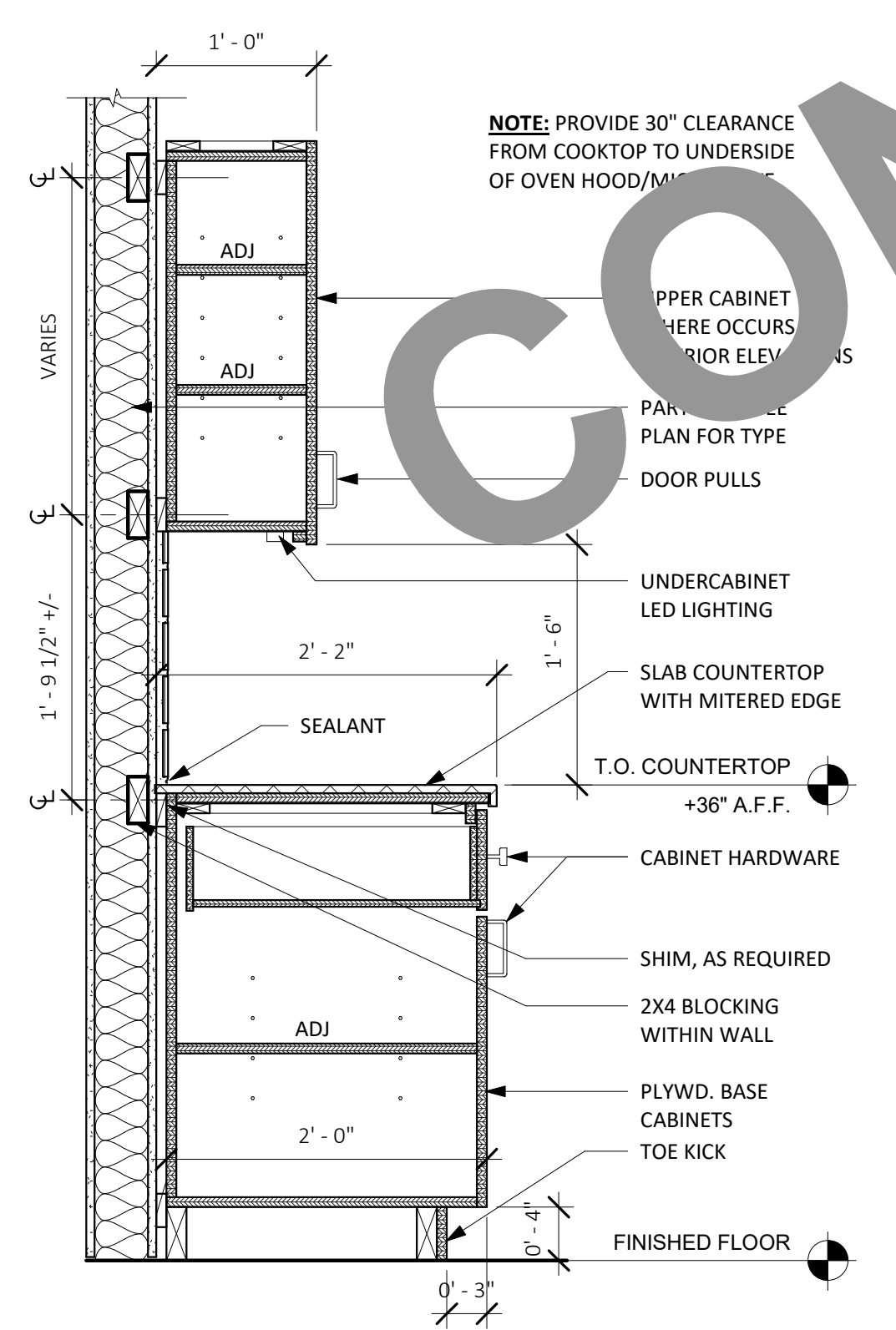
11 TILE AT TUB DECK  
3" = 1'-0"



17 COUNTERTOP DETAIL  
3" = 1'-0"



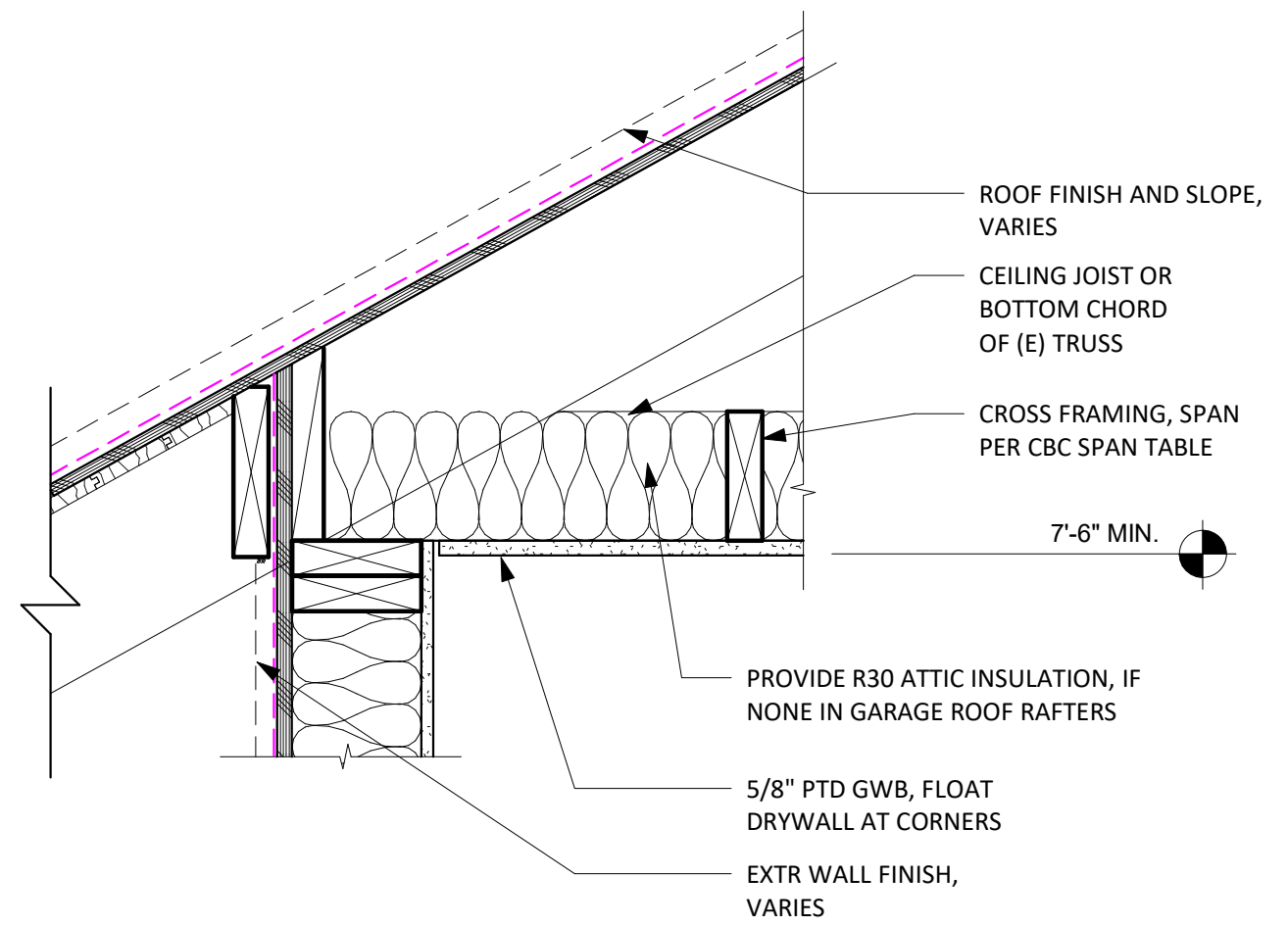
16 FLOATING WOOD SHELVES (OPTIONAL)  
1" = 1'-0"



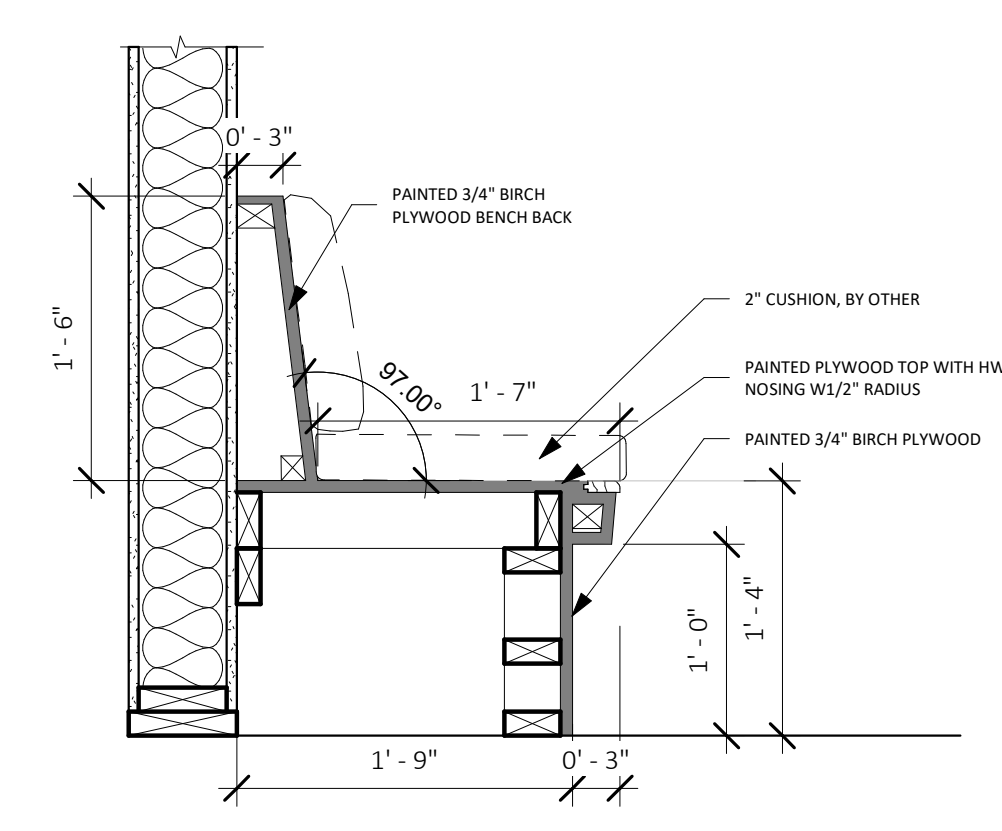
15 TYPICAL BASE CABINET WITH UPPER CABINET  
1" = 1'-0"

NOTE: PROVIDE 30" CLEARANCE FROM COOKTOP TO UNDERSIDE OF OPEN SHELVES

NOTE: PROVIDE 30" CLEARANCE FROM COOKTOP TO UNDERSIDE OF OVEN HOOD/MOUNTED LIGHTS



19 CEILING DETAIL  
1 1/2" = 1'-0"



18 BUILT-IN BENCH (OPTIONAL)  
1" = 1'-0"



OUTDOOR UNIT SCHEDULE												
CODE	MFR.	MODEL	EFFICIENCY	REFR.	V/PH	MCA	MOC/P	WT.	HT. W/O	CRTS.	EQUIP.	COMMENTS
			SEER					(LBS)	LEVELING		SERVED	
OU-1	DAIKIN	MRZ-WR09NA	16	R410A	208/1	9	15	73	21-5/8	TSTAT.	IU-1	
OU-2	DAIKIN	MRZ-2C20NA4-U1	20	R410A	208/1	17.2	20	126	27-15/16	TSTAT.	IU-2	

INDOOR UNIT SCHEDULE																			
CODE	MFR	MODEL	SUPPLY FAN			ELECTRICAL			COOLING COIL				HEATING COIL			HT W/O	WEIGHT	AREAS SERVED/ FLOOR	COMMENTS
			CFM	ESP (in)	BHP	V/PH	MCA	MOC/P	EAT	LAT	CAPACITY (MBH)	SENS	EAT	LAT	CAP				
IU-1	DAIKIN	MSZ-WR09NA	300	--		208/1	1	0.76	90	73	9.0	7.4	80	10.9	11-5/8	22	GARAGE CONVERSION		
IU-2	DAIKIN	MSZ-FS06NA	220	--		208/1	1	0.65	80	67	6.0	5.0	70	8.7	15-1/2	29	MULTIPLE		

FAN/ENERGY RECOVER VENTILATOR SCHEDULE											
CODE	MFR	MODEL	CFM	ESP (in)	BHP	V/PH	HT. W/O	WEIGHT	AREAS SERVED	SONES	COMMENTS
							ISOLATORS	(LBS)			
ERV-1	PANASONIC	FV-10VEC2	100	0.4	81W	120/1	8-7/8"	56.9	BATHROOMS		1

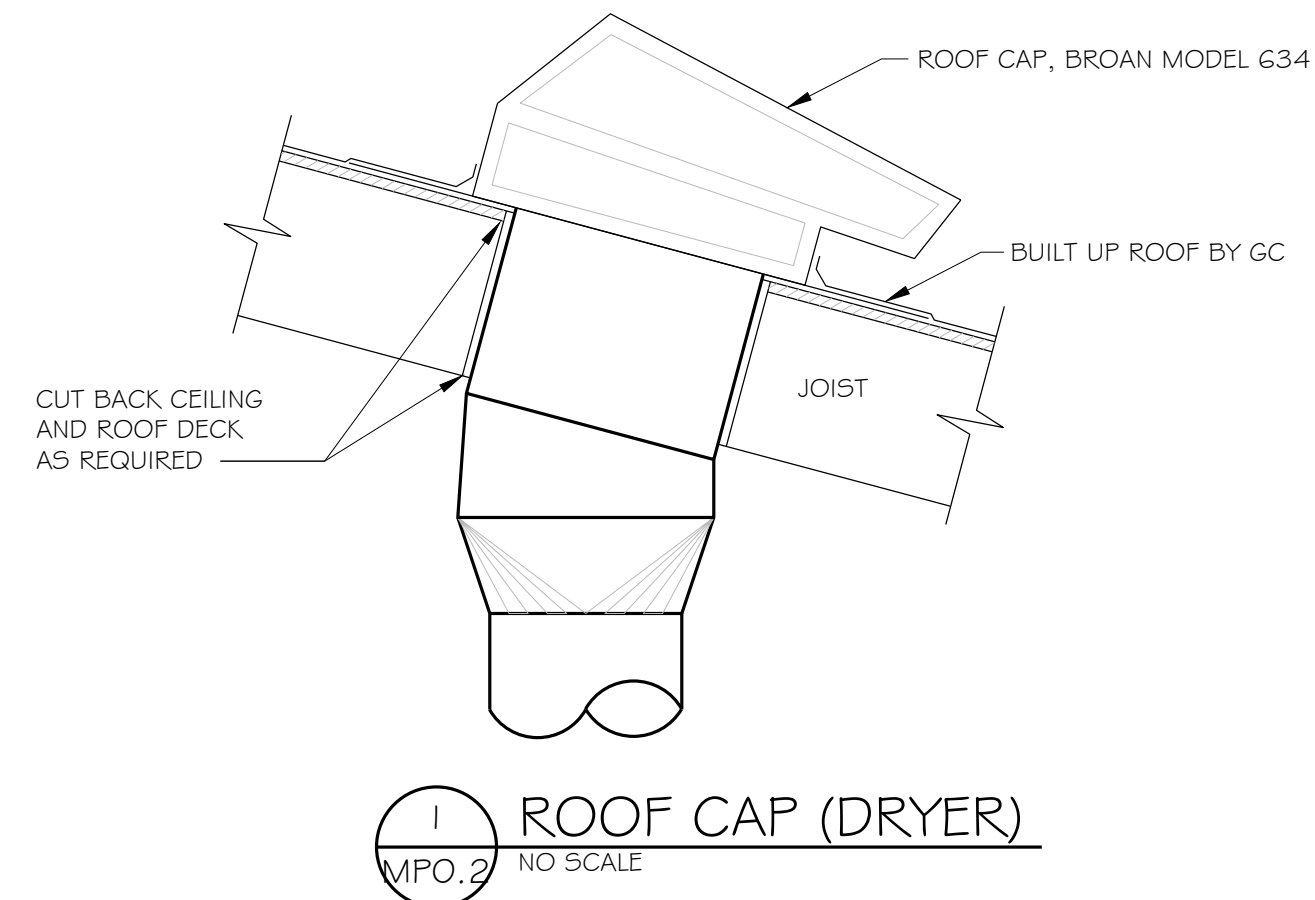
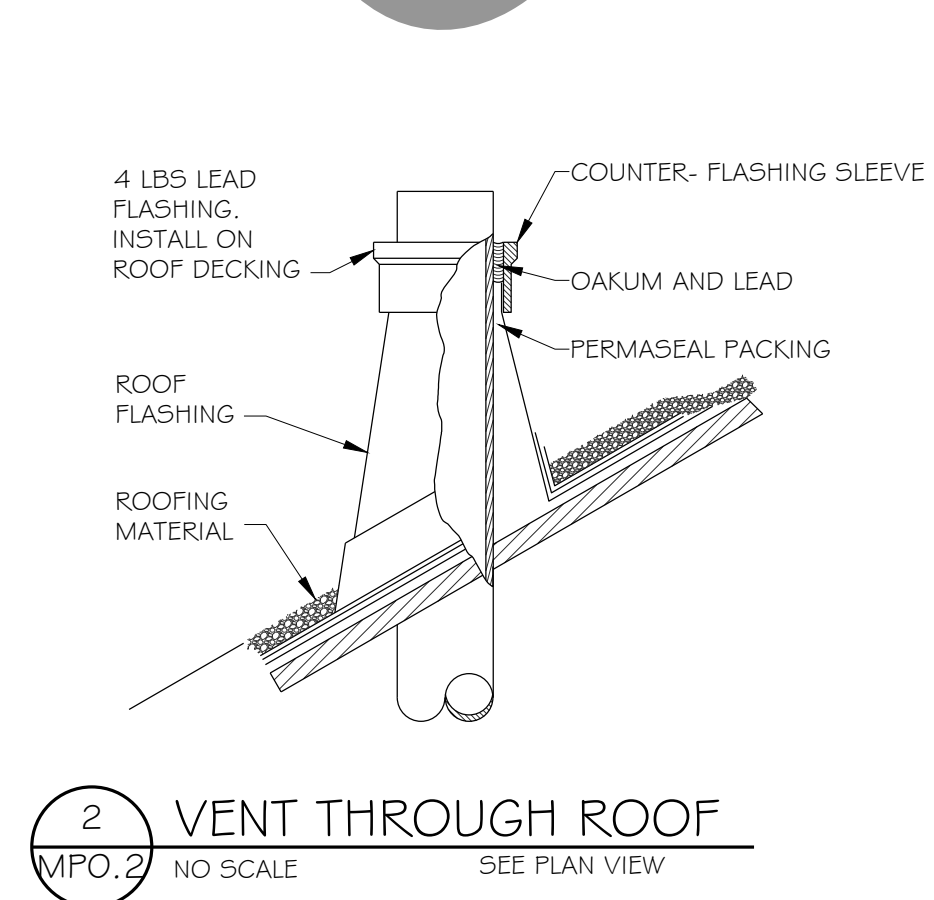
NOTES: 1. CONTROLLED BY HUMIDISTAT. ADD OVERRIDE SWITCH; COORDINATE LOCATION W/ ARCHITECT. PROVIDES WHOLE HOUSE VENTILATION. TO RUN 24/7.

PLUMBING FIXTURE SCHEDULE											
CODE	DESCRIPTION	ACCESSIBLE	MOUNTING TYPE			MIN. ROUGH-IN CONN (IN)				LOCATION	REMARKS
			FLOOR	COUNTER TOP	WALL	W	V	CW	HW		
HB-1	HOSE BIB	-	-	-	•	-	-	1/2	-	OUTSIDE	2.2 GPM
CWB-1	CLOTHES WASHER	-	-	-	•	2	1 1/2	1/2	1/2	LAUNDRY	W/ WHA
SK-1	KITCHEN SINK	-	-	-	•	2	1 1/2	1/2	1/2	KITCHEN	1.8 GPM
L-1	LAVATORY	-	-	-	•	2	1 1/2	1/2	1/2	BATHROOM	1.2 GPM
BT-1	BATHTUB	-	•	-	-	2	1 1/2	-	-	BATHROOM	1.8 GPM SHOWERHEAD
WC-1	WATER CLOSET	-	-	-	•	3	2	1	-	BATHROOM	1.28 GPF

WATER HEATER SCHEDULE													
CODE	LOCATION	SERVICE	FUEL TYPE	CAPACITY	TANK	GPH @ F	ELECTRICAL	WEIGHT	HEIGHT	PART	MIN. ROUGH-IN	REMARKS	
				INPUT	CAPACITY	RISE	H.P.	(LBS)	(IN)	NO.			
WH-1	OUTSIDE	DHW	GAS	199 MBH	TANKLESS	6.5 GPM @ 60	--	120	1	64	26.4	RU199	UEP: GARAGE CONVERSION ONLY
EW1-1	WH CLOSET	DHW	HYBRID HEAT PUMP	4.5 KW + 4.2 MBH	40	26 @ 90	--	120	1	157	63	RF40T1	RHE: DUCT HEAT REJECTION TO OUTSIDE

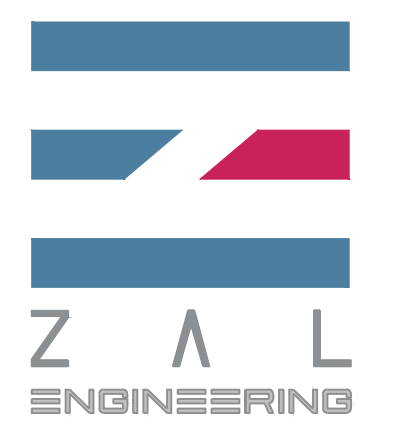
GAS CALCULATIONS FOR WH-1 *		
WH-1	DISTANCE TO METER	GAS PIPE SIZE
(BTU/H)	(FT.)	(IN.)
199	<50	1/2
	>50	3/4

\*GARAGE CONVERSION ONLY



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**ZAL ENGINEERING**  
MECHANICAL CONSULTANTS  
99 PACIFIC ST. STE. 375G  
MONTEREY, CA 93940  
TELEPHONE (831) 641-7799  
JOB NO. 23019.00

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BUELLTON CITY  
PRE-DESIGNED ADU  
BUELLTON, CALIFORNIA

SCHEDULES  
DETAILS  
MECHANICAL &  
PLUMBING

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:  
DRAWN BY:  
CHECKED BY:  
SHEET NUMBER  
**MPO.2**  
SHEET OF

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**SHEET NOTES**

- CONNECT TO (E) GAS METER.
- PROVIDE LABEL TO CLEARLY DISPLAY THE FOLLOWING TEXT: THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE SWITCH IN THE 'ON' POSITION AT ALL TIMES UNLESS THE OUTDOOR AIR QUALITY IS VERY POOR.\*

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**BUELLTON CITY  
PRE-DESIGNED ADU  
BUELLTON, CALIFORNIA**

**GARAGE CONVERSION**

**MECH & PLBG**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

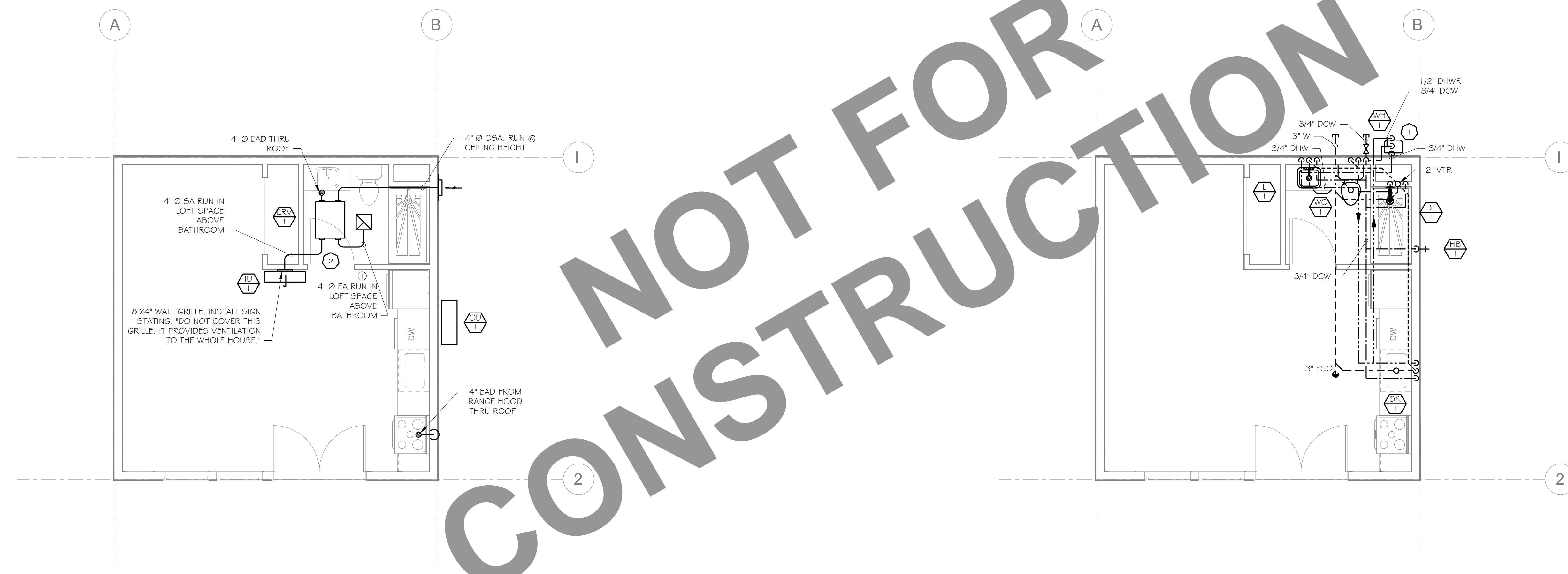
DRAWN BY:

CHECKED BY:

SHEET NUMBER

**MP2.1**

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**2 FLOOR PLAN - GARAGE CONVERSION - NEW MECHANICAL**  
SCALE: 1/4" = 1'-0"

**1 FLOOR PLAN - GARAGE CONVERSION - NEW PLUMBING**  
SCALE: 1/4" = 1'-0"



**SHEET NOTES**  
 1. CONNECT TO (E) GAS METER.

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**NOT FOR CONSTRUCTION**

**BUELLTON CITY  
 PRE-DESIGNED ADU  
 BUELLTON, CALIFORNIA**

**GARAGE CONVERSION**

**MECH & PLBG**

NO.	DESCRIPTION	DATE
1		
2		
3		
4		

ENGINEER BY:

DRAWN BY:

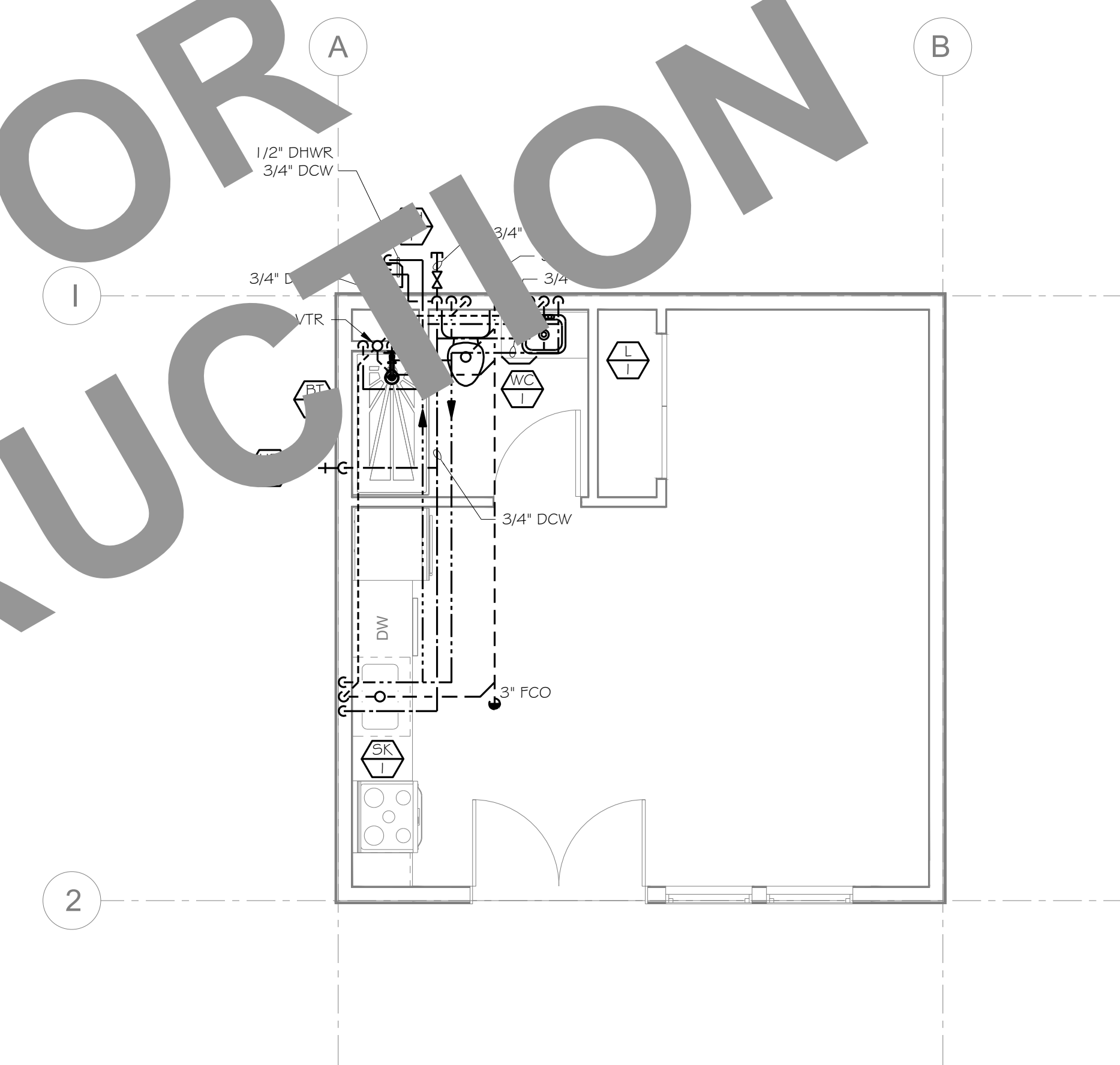
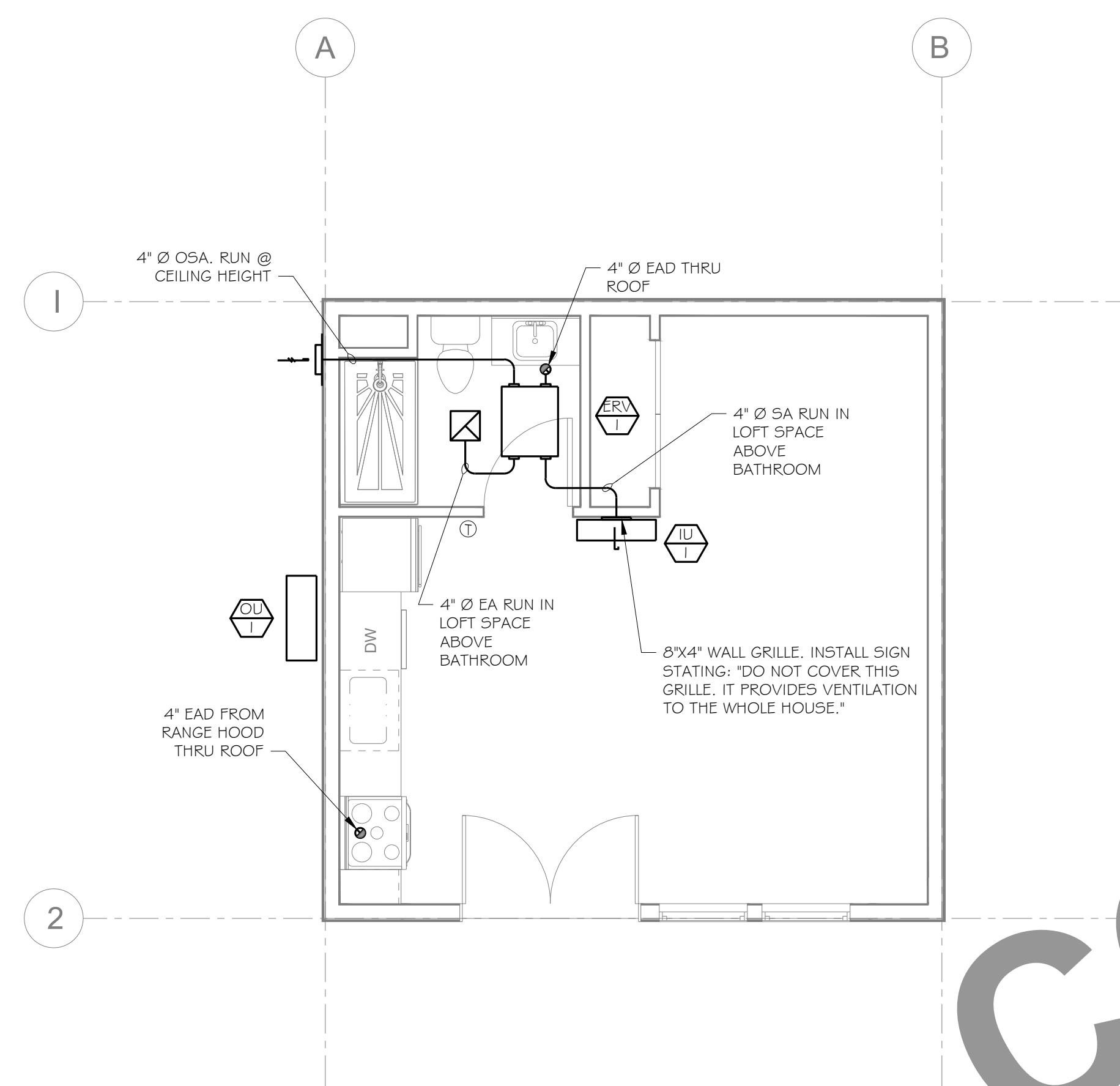
CHECKED BY:

SHEET NUMBER

**MP2.1R**

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**NOT FOR CONSTRUCTION**



**2** FLOOR PLAN - GARAGE CONVERSION REVERSED - NEW MECHANICAL  
 MP2.1 SCALE: 1/4" = 1'-0"  
 0 1 2 4 8  
 SCALE: 1/4" = 1'-0"

**1** FLOOR PLAN - GARAGE CONVERSION REVERSED - NEW PLUMBING  
 MP2.1 SCALE: 1/4" = 1'-0"  
 0 1 2 4 8  
 SCALE: 1/4" = 1'-0"