

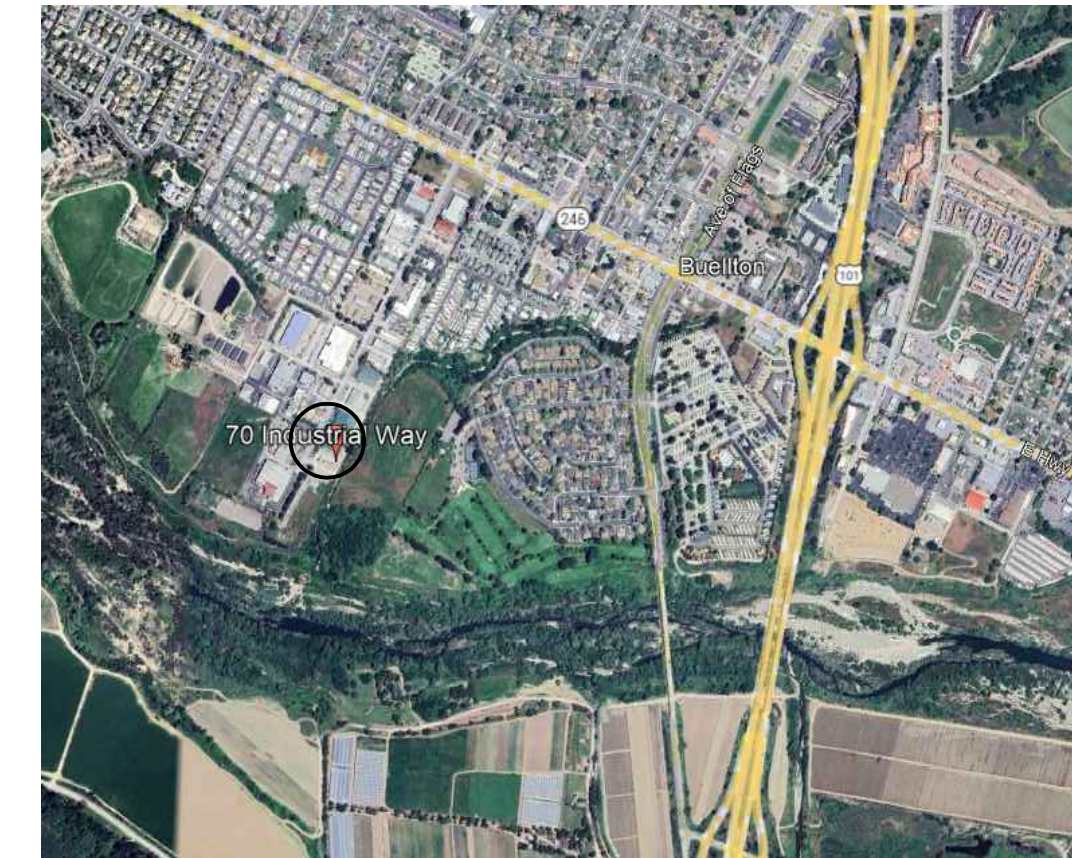
# 70 INDUSTRIAL WAY SELF-STORAGE PROJECT 25-FDP-02

RE-PURPOSE EXISTING 38,990 SF WAREHOUSE AND SITE FOR SELF-STORAGE. THE PROJECT WILL INCLUDE DEMOLITION OF EXISTING PARTITIONS AND STAIRS, AND THE ADDITION OF STORAGE UNITS ON THE GROUND LEVEL AS WELL AS A SELF-SUPPORTING PLATFORM FOR ADDITIONAL STORAGE UNITS. THERE WILL BE LIFTS AND STAIRS FOR ACCESS TO THIS UPPER SPACE. THE NEW INTERIOR WORK WILL NOT TOUCH THE EXISTING STRUCTURE BEYOND THE FLOOR SLAB. IT WILL BE FREE-STANDING. ADDITIONAL WORK WILL INCLUDE MODIFICATION TO SOME EXISTING DOOR AND WINDOW OPENINGS TO ADJUST FOR THE NEW STORAGE UNIT LAYOUT.

REFER TO SEPARATE PROJECT DESCRIPTION DOCUMENT FOR MORE INFORMATION.

## Project Description

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Vicinity Map  
Not to Scale



<b>OWNER / DESIGN TEAM</b>	
PROPERTY OWNER:	70 INDUSTRIAL LLC
AUTHORIZED REPRESENTATIVE:	JACOB ADLER, PRINCIPAL AJR CAPITAL GROUP 70 INDUSTRIAL WAY BUELLTON, CALIFORNIA 93427 jacob@ajrcapitalgroup.com
ARCHITECT:	SHANE MAPLES, ARCHITECT, C37563 OMNI DESIGN INC. 1326 CHORRO STREET SAN LUIS OBISPO, CALIFORNIA 93401 805.544.9700, smaples@omnidesign.us
CIVIL ENGINEER:	BRANDON MARCHELL, P.E. C 92955 OMNI DESIGN GROUP, INC. 1326 CHORRO STREET SAN LUIS OBISPO, CALIFORNIA 93401 805.544.9700, bmarche@omnidesign.us
ELECTRICAL ENGINEER:	JMPE ELECTRICAL ENGINEERS JOHN MALONEY, P.E. 13883 127 WEST CLARK AVENUE, SUITE 204 SANTA MARIA, CALIFORNIA 93455 805.866.1390, sal@jmpe.net
STRUCTURAL ENGINEER:	FTF ENGINEERING 1023 NIPOMO STREET, SUITE 210 SAN LUIS OBISPO, CALIFORNIA 93401 805.544.1216, jvane@ftfengineering.com

<b>SITE INFORMATION</b>	
LOCATION:	70 INDUSTRIAL WAY, BUELLTON, CALIFORNIA
A.P.N.:	099-490-052
GENERAL PLAN DESIGNATION:	LIGHT MANUFACTURING
ZONING:	M - MANUFACTURING INDUSTRIAL
SIZE OF PARCEL:	2.2 ACRES (95,832 SF) NET
PRESENT USE:	EXISTING WAREHOUSE
SETBACKS:	NORTH - REQUIRED: NONE PROVIDED: 30'-0" SOUTH - REQUIRED: 10'-0" PROVIDED: 17'-0" WEST - REQUIRED: 10'-0" PROVIDED: 20'-0" EAST - REQUIRED: 50' FROM TOP OF BANK PROVIDED: 50'-0"
SURROUNDING USES / ZONING:	NORTH INDUSTRIAL SOUTH OPEN SPACE EAST INDUSTRIAL - VACANT WEST INDUSTRIAL
PARKING:	1.26/100 UNITS = 476 UNITS/100 = 5 X 1.26 = 6 12 1 (INCLUDED IN 12) 0 REQUIRED, 0 PROVIDED
PARKING SPACES REQUIRED:	1.26/100 UNITS = 476 UNITS/100 = 5 X 1.26 = 6
PARKING SPACES PROVIDED:	12
ACCESSIBLE PARKING SPACES:	1 (INCLUDED IN 12)
EV CAPABLE SPACES:	0 REQUIRED, 0 PROVIDED
SITE COVERAGE:	MAXIMUM STRUCTURES PERMITTED: 50% OF SITE BUILDING FOOTPRINT: 38,990 SQUARE FEET SITE SELF STORAGE UNITS: 9,400 SQUARE FEET TOTAL SITE COVERAGE: 48,390 (50.4%)
LANDSCAPE AREA*:	8,322 SQUARE FEET (8.75%)* *CITY PLANNING SUPPORTS SEEKING AN EXCEPTION TO THE 10% MIN. DUE TO THE PRESENCE OF AN EXISTING WALL SERVING AS A SCREEN ALONG THE REAR SIDE OF THE PROPERTY (ZACA CREEK SIDE)
HEIGHTING DATA:	30'-10" (EXISTING) PERMITTED: 45'-0"
AREA (SQUARE FOOTAGE):	ALLOWABLE: 78,000 SF
PROPOSED:	38,990 SF (FIRST FLOOR) 27,783 SF (SECOND FLOOR) 66,773 SF (TOTAL)
CONSTRUCTION TYPE:	TYPE IIIA, SPRINKLERED
OCCUPANCY GROUP:	S-1 (OFFICE = INCIDENTAL)
NO. OF OCCUPANTS:	STORAGE SPACE: 1/500 SF (GROSS) = 149
NUMBER OF EXITS:	REQUIRED: 2 PROVIDED: 6 (1ST FLOOR) 2022 CBC TABLE 1006.3.3 PROVIDED: 4 (2ND FLOOR)
MAXIMUM EXIT TRAVEL DISTANCE:	2022 CBC TABLE 1017.2 PERMITTED: 250'-0" ACTUAL: 1ST FLOOR: 203' ACTUAL: 2ND FLOOR: 199'
HIGH PILE STORAGE:	NO
SPRINKLERED:	YES

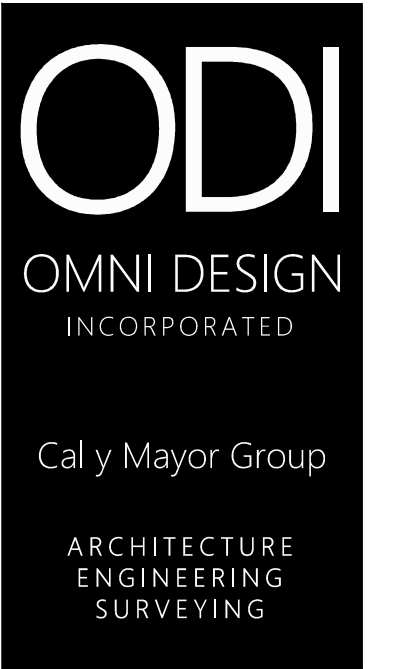
## Project Data

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T1.1	Title Sheet
1 of 1	ALTA Survey
A0.1	Site Demolition Plan
A0.2	Site Map
A1.1	First Floor Demolition Plan
A1.2	Second Floor Demolition Plan
A1.3	First Floor Storage Unit Plan
A1.4	Second Floor Storage Unit Plan
A2.1	Exterior Elevations
E1.0	General Notes, Symbols, Single Line Diagram
E2.1	Site Lighting Plan
E2.2	Site Photometric Lighting Plan
PLP	Preliminary Landscape Plan
1 of 5	Signage Cover Sheet, Site Map
2 of 5	Signage Storefront Elevation: Sign A,B & C
3 of 5	Signage Face-Lit Channel Letters: Sign A
4 of 5	Signage Flat Cut out Letters: Sign B
5 of 5	Signage D/F Wooden Panel Post Sign: Sign C

## Sheet Index

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1326 CHORRO STREET  
SAN LUIS OBISPO, CALIFORNIA  
93401

Project:  
**70 INDUSTRIAL WAY  
SELF-STORAGE PROJECT**  
70 INDUSTRIAL WAY  
BUELLTON | CALIFORNIA | 93427

Client:  
**AJR CAPITAL GROUP**  
70 INDUSTRIAL WAY  
BUELLTON | CALIFORNIA | 93427

Consultant:  
**OMNI DESIGN INC.**  
1326 CHORRO STREET  
SAN LUIS OBISPO | CALIFORNIA | 93401

No.	Revision	Date	By

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PROJECT NUMBER: 2025-54  
DATE: 09.25.2025  
SHEET TITLE:

## TITLE SHEET AND SITE PLAN

SHEET NUMBER:

# T1.1

**PROPERTY OWNER**  
 HAUBER PROPERTIES - BUELLTON, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY  
 THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS PRELIMINARY TITLE REPORT IS:

A FEE AS TO PARCEL(S) ONE, AN EASEMENT AS TO PARCEL(S) TWO, THREE, FOUR AND FIVE.  
 (AS DESCRIBED IN PRELIMINARY TITLE REPORT NO. 4205-7241561 DATED MARCH 4, 2025, BY FIRST AMERICAN TITLE COMPANY)

**LEGAL DESCRIPTIONS OF SURVEYED PROPERTY**  
 REAL PROPERTY IN THE CITY OF BUELLTON, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

**PARCEL ONE:**  
 PARCEL THREE OF HAUBER PARCEL MAP NO. 31051, IN THE CITY OF BUELLTON, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, AS RECORDED IN BOOK 63, PAGES 37 THROUGH 42 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**PARCEL TWO:**  
 AN EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES OVER A STRIP OF LAND 64 FEET IN WIDTH, AS DESCRIBED IN PARCEL TWO IN THE DEED TO SOLVANG CEMENT PRODUCTS, INCORPORATED BY DEED RECORDED JANUARY 28, 1966, AS INSTRUMENT NO. 2923, IN BOOK 2137, PAGE 1271, OF OFFICIAL RECORDS, THE CENTER LINE OF WHICH IS DESCRIBED AS FOLLOWS:  
 BEGINNING AT A POINT ON THE CENTER LINE OF THE LOMPOC-BUELLTON ROAD WHICH BEARS NORTH 65° 00' 20" WEST 232.00 FEET FROM THE INTERSECTION OF SAID LOMPOC-BUELLTON ROAD WITH THE EAST LINE OF SAID TRACT NO. 9, THENCE SOUTH 25° 00' WEST PARALLEL WITH THE EAST LINE OF SAID TRACT NO. 9, TO THE SOUTH LINE OF SAID TRACT NO. 9,  
 EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN LINES OF PARCELS A AND B OF SAID PARCELS A AND B OF SAID PARCEL MAP NO. 12,983, SAID EASEMENT IS APPURTENANT TO AND FOR THE BENEFIT OF PARCEL ONE ABOVE AND ANY PORTIONS INTO WHICH IT MAY BE DIVIDED.

**PARCEL THREE:**  
 AN EASEMENT FOR INGRESS, EGRESS AND PUBLIC UTILITIES OVER THAT PORTION OF PARCEL A OF SAID PARCEL MAP 12,983 SHOWN AS "32' ROAD AND UTILITY EASEMENT PER BOOK 2137, PAGE 1271, OFFICIAL RECORDS", SAID EASEMENT TO BE APPURTENANT TO AND FOR THE BENEFIT OF PARCEL ONE ABOVE DESCRIBED AND ANY PORTIONS INTO WHICH IT MAY BE DIVIDED.

**PARCEL FOUR:**  
 A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THE SOUTHEASTERLY 18.00 FEET OF PARCEL 1 OF PARCEL MAP NO. 31,035, IN THE CITY OF BUELLTON, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 59, PAGES 19 AND 20 OF PARCEL MAPS, EXCEPT ANY PORTION LYING WITHIN INDUSTRIAL WAY AS SHOWN ON SAID PARCEL MAP. SAID EASEMENT WAS CONVEYED TO PETER HAUBER BY DOCUMENT RECORDED DECEMBER 6, 2007 AS INSTRUMENT NO. 2007-0083271 OF OFFICIAL RECORDS AND IS APPURTENANT TO AND FOR THE BENEFIT OF PARCEL ONE ABOVE DESCRIBED.

**PARCEL FIVE:**  
 A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER THE SOUTHEASTERLY 18.00 FEET OF PARCEL 2 OF PARCEL MAP NO. 31,035, IN THE CITY OF BUELLTON, COUNTY OF SANTA BARBARA, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 59, PAGES 19 AND 20 OF PARCEL MAPS. SAID EASEMENT WAS CONVEYED TO PETER HAUBER BY DOCUMENT RECORDED DECEMBER 6, 2007 AS INSTRUMENT NO. 2007-0083271 OF OFFICIAL RECORDS AND IS APPURTENANT TO AND FOR THE BENEFIT OF PARCEL ONE ABOVE DESCRIBED.

# ALTA SURVEY

## 70 INDUSTRIAL WAY

### BUELLTON, CA 93427

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE NORTHERLY LINE OF PARCEL 3 BETWEEN FOUND MONUMENTS AND NOTED AS NORTH 64°59'45" WEST ON THE MAP RECORDED IN BOOK 63 OF PARCEL MAPS AT PAGE 37-42, RECORDS OF SAID COUNTY.

**BENCHMARK**

VERTICAL:

TRIMBLE R10 GPS SYSTEM WAS USED TO OBSERVE ONSITE CONTROL. DATA PROCESSED THROUGH NATIONAL GEODETIC SURVEYS ONLINE POSITIONING USER SERVICE TO OBTAIN STATE PLANE COORDINATES AND LATITUDE AND LONGITUDE (NAD 83) ALONG WITH ELEVATIONS (NAVD 88).

**HORIZONTAL:**

DATA PROCESSED THROUGH NATIONAL GEODETIC SURVEYS ONLINE POSITIONING USER SERVICE TO OBTAIN STATE PLANE COORDINATES AND LATITUDE AND LONGITUDE (NAD 83).

**SITE DATA:**

APN: 099-690-052  
 AREA: 2.61 ACRES GROSS PER R  
 2.20 ACRES NET PER R  
 TELEPHONE SERVICE: UNKNOWN  
 GAS SERVICE: UNKNOWN  
 ELEC. SERVICE: PACIFIC GAS AND ELECTRIC COMPANY  
 TOWN: BUELLTON  
 COUNTY: SANTA BARBARA  
 STATE: CALIFORNIA

**FLOOD ZONE STATEMENT**

THIS SITE IS IDENTIFIED BY THE FLOOD INSURANCE RATE MAP WITH THE COMMUNITY PANEL NUMBER 06083C1052G REVISED ON DECEMBER 4, 2012, AS BEING IN ZONES AE AND X.

ZONE AE IS SHOWN ON THIS SURVEY ALONG WITH BASE FLOOD ELEVATIONS.

ZONE X IS DESCRIBED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

**UTILITY NOTE**

Utility information shown on this plan is based upon visible evidence in the field.

**PARKING DATA**

54 VEHICLE PARKING  
 2 ADA PARKING  
 0 MOTORCYCLE PARKING

**SURVEYOR'S STATEMENT**

THE PROPERTY BOUNDARY SHOWN HEREON IS BASED UPON A FIELD SURVEY. MONUMENTS ARE FOUND AS NOTED.

**SURVEYOR'S STATEMENT**

TO \_\_\_\_\_ AND FIRST AMERICAN TITLE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005, AND INCLUDES ITEMS 4, 7A, 7C, & 9 OF TABLE A THEREOF, PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

**SURVEY NOTES**

TRIMBLE R10-2 BASE AND ROVER UNITS WERE USED FOR ESTABLISHING CONTROL AND ANGULAR AND DISTANCE MEASUREMENTS.

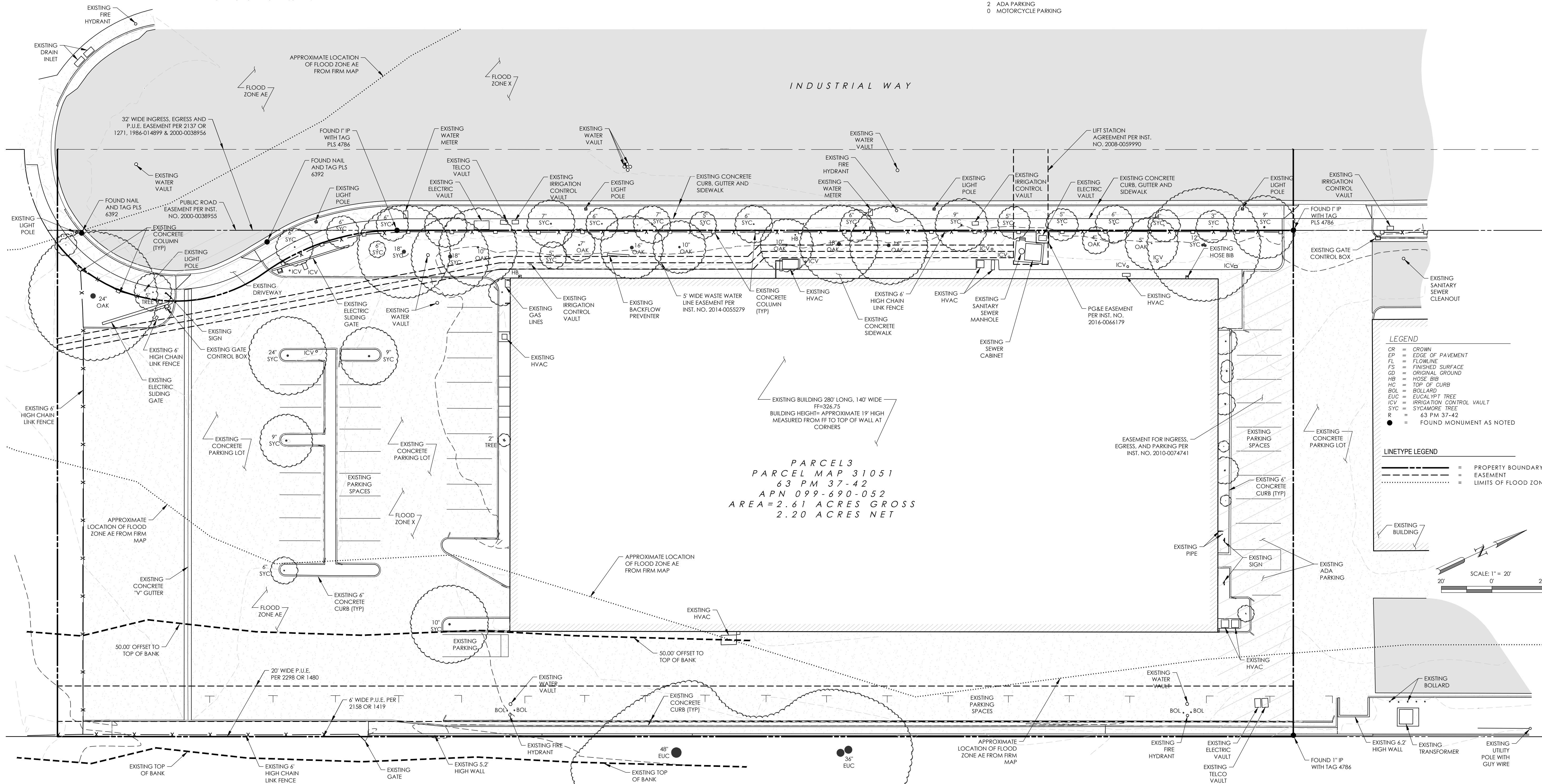
ALL HORIZONTAL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.

FIELD WORK FOR THIS PROPERTY WAS COMPLETED ON APRIL 10, 2025.

THE UTILITIES SHOWN HEREON ARE BASED UPON VISUAL EVIDENCE COLLECTED ON THE DATE OF THE FIELD SURVEY. THERE IS NO CERTAINTY FOR THIS SURVEY AS TO THE PRESENCE, SIZE, CHARACTER, OR LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES. UTILITIES AND STRUCTURES NOT SHOWN HEREON MAY BE ENCOUNTERED.

THIS SURVEY IS A TRUE AND ACCURATE DEPICTION OF PARCEL 3 AS SHOWN THIS SURVEY.

**NOTE:**  
 EASEMENTS LISTED IN PRELIMINARY TITLE REPORTS THAT ARE NOT SHOWN ON THIS MAP ARE EITHER NOT PLOTTABLE FROM RECORD OR DO NOT AFFECT SURVEYED AREA.



EXISTING BUILDING 280' LONG, 140' WIDE  
 FF=324.25  
 BUILDING HEIGHT= APPROXIMATE 19' HIGH  
 MEASURED FROM FF TO TOP OF WALL AT CORNERS

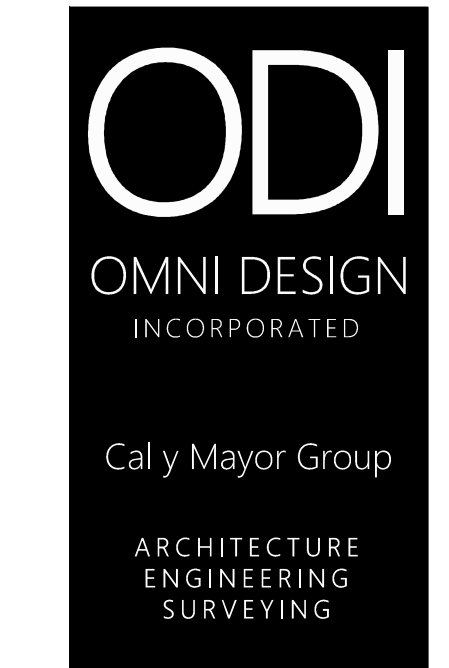
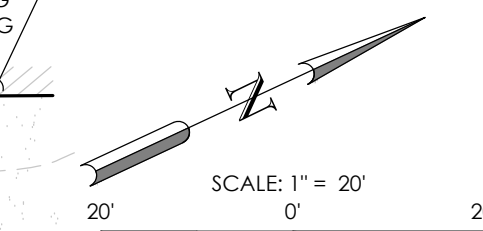
PARCEL 3  
 PARCEL MAP 31051  
 63 PM 37-42  
 APN 099-690-052  
 AREA=2.61 ACRES GROSS  
 2.20 ACRES NET

**LEGEND**

CR = CROWN  
 EP = EDGE OF PAVEMENT  
 FL = FLOWLINE  
 FS = FINISHED SURFACE  
 GD = ORIGINAL GROUND  
 HB = HOSE BIB  
 HC = TOP OF CURB  
 BOL = BOLLARD  
 EUC = EUCALYPT TREE  
 ICV = IRRIGATION CONTROL VAULT  
 SYC = SYCAMORE TREE  
 R = 43 PM 37-42  
 ● = FOUND MONUMENT AS NOTED

**LINETYPE LEGEND**

— = PROPERTY BOUNDARY  
 - - - = EASEMENT  
 ····· = LIMITS OF FLOOD ZONE

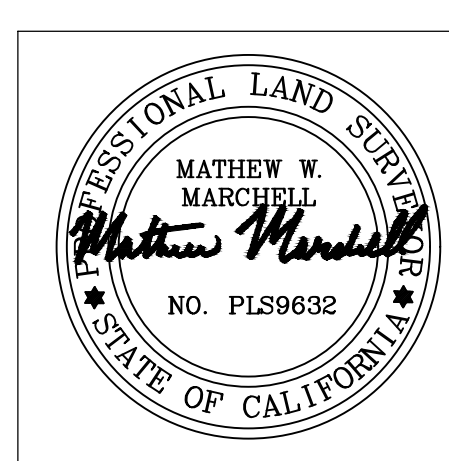


1326 CHORRO STREET  
 SAN LUIS OBISPO, CALIFORNIA  
 93401

CLIENT:  
**AJR CAPITAL GROUP**

PROJECT:  
**2025-54**

JACOB ADLER



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PROJECT NUMBER: 2025-54  
 DATE: APRIL 23, 2025  
 SHEET TITLE:  
**ALTA SURVEY**

SHEET NUMBER:  
 1 OF 1

TOPOGRAPHIC SURVEY  
 SCALE: 1" = 20'

Project:  
**SELF STORAGE BUILDING**

70 INDUSTRIAL WAY  
 BUELLTON | CALIFORNIA | 93427

Client:  
**AJR CAPITAL GROUP**

70 INDUSTRIAL WAY  
 BUELLTON | CALIFORNIA | 93427

Consultant:  
**OMNI DESIGN INC.**

1326 CHORRO STREET  
 SAN LUIS OBISPO | CALIFORNIA | 93401

No.	Revision	Date	By

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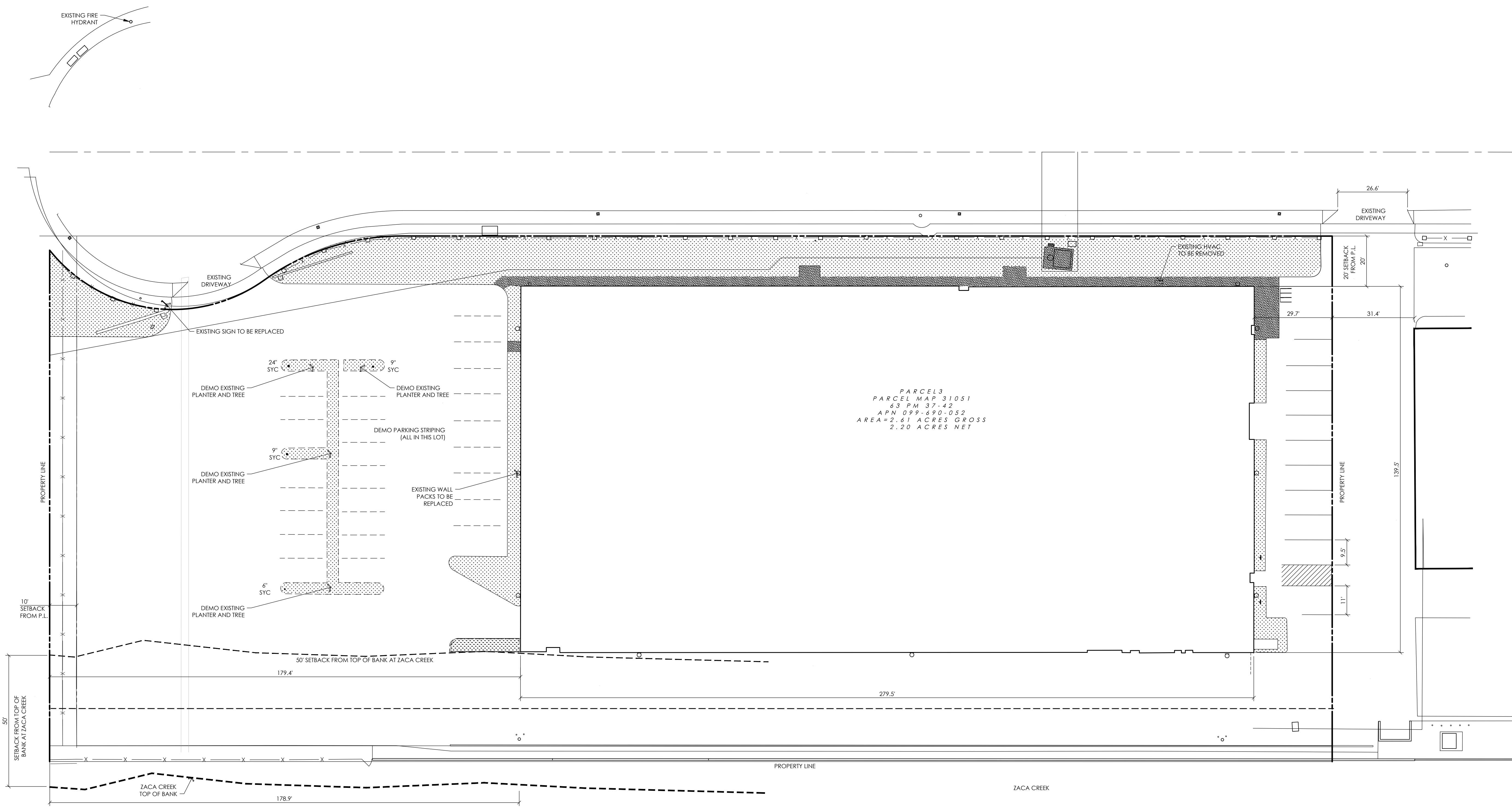
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PROJECT NUMBER: 2025-54  
 DATE: 09.24.2025  
 SHEET TITLE:

**SITE DEMOLITION PLAN**

SHEET NUMBER:

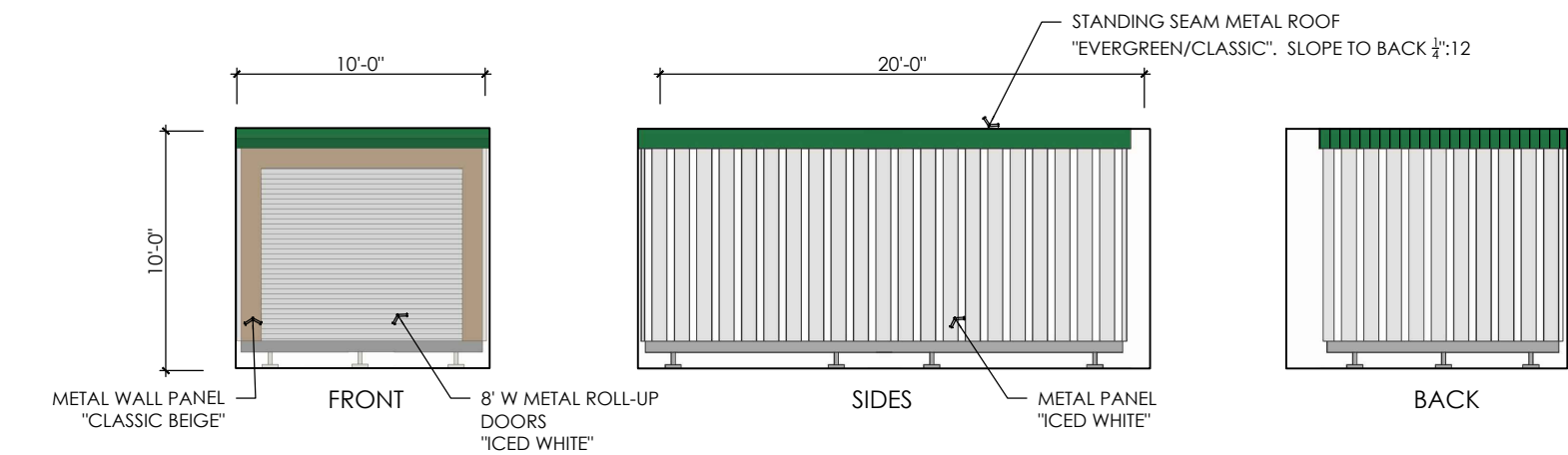
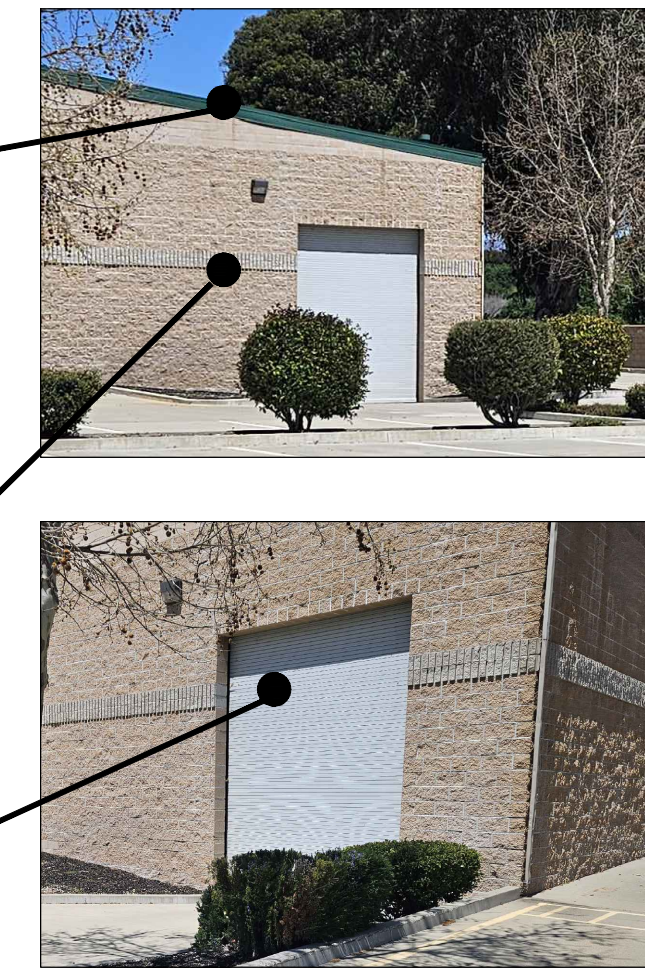
**A0.1**



DEMOLITION SITE PLAN  
 SCALE: 1" = 20'-0"



- ROOF**  
EVERGREEN/  
CLASSIC GREEN
- WALLS**  
CLASSIC BEIGE®
- ROLL-UP DOOR**  
ICED WHITE®



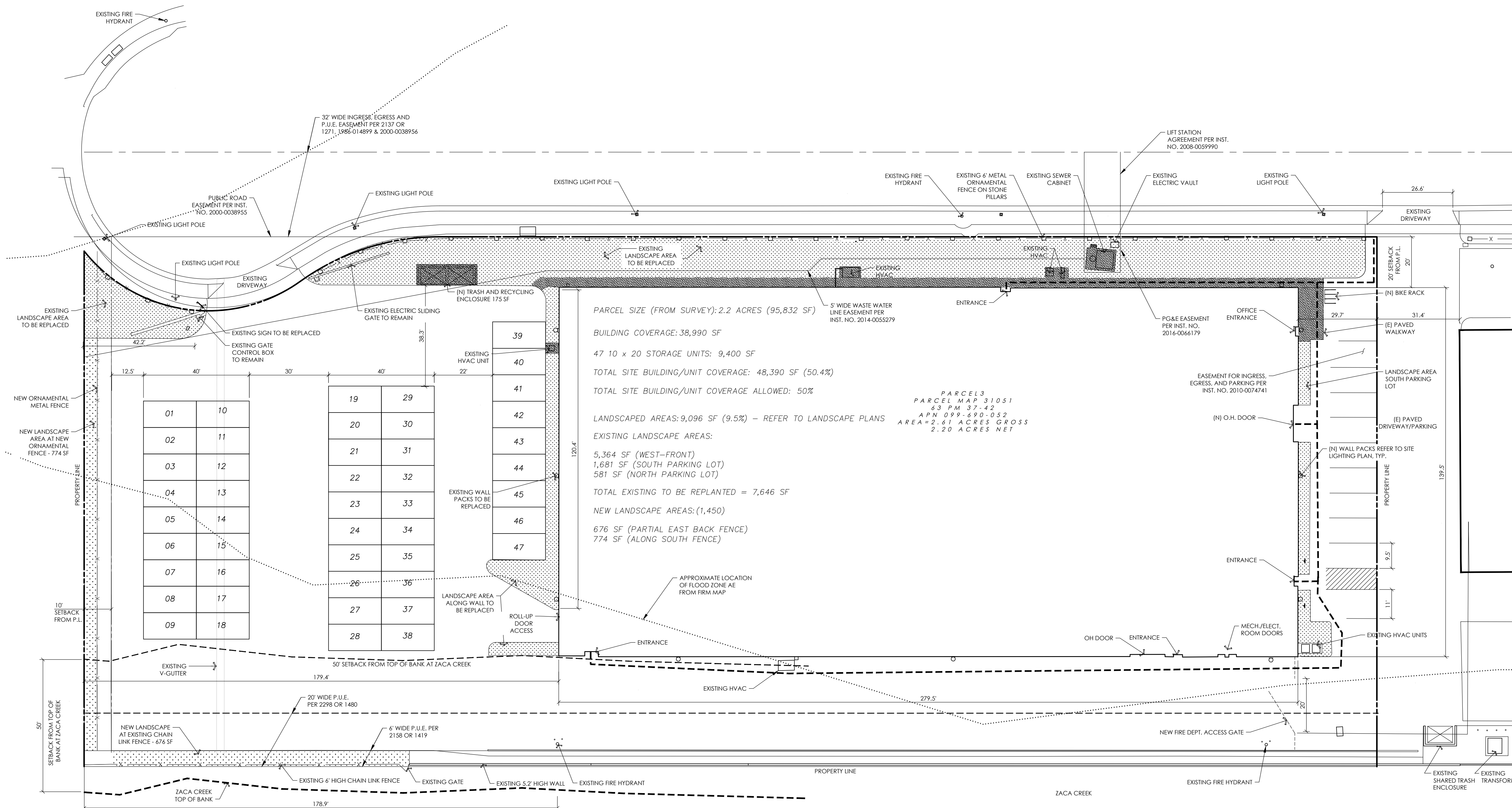
EXAMPLE METAL STORAGE UNITS - TRACHTER BUILDING SYSTEMS - IMAGE PROVIDED FOR COLOR SCHEME

STORAGE UNIT ELEVATIONS

Project:  
**SELF STORAGE BUILDING**  
70 INDUSTRIAL WAY  
BUELLTON | CALIFORNIA | 93427

Client:  
**AJR CAPITAL GROUP**  
70 INDUSTRIAL WAY  
BUELLTON | CALIFORNIA | 93427

Consultant:  
**OMNI DESIGN INC.**  
1326 CHORRO STREET  
SAN LUIS OBISPO | CALIFORNIA | 93401



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SHEET TITLE:

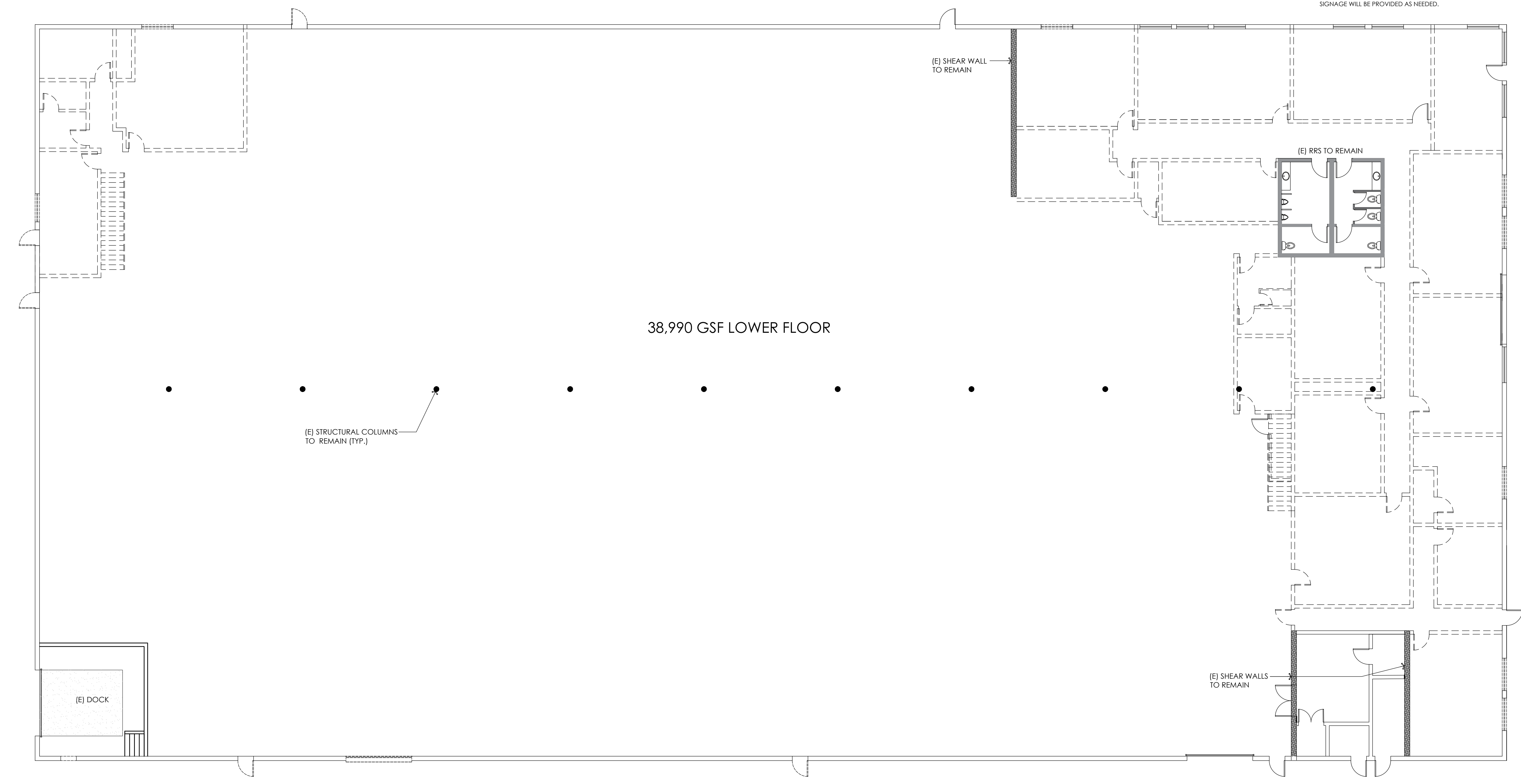
**SITE PLAN**

SHEET NUMBER:

- DEMO WALL/STAIRS
- (E) DOOR - INOPERABLE
- (E) WINDOW - INOPERABLE
- (E) WALL TO REMAIN
- (E) WINDOW TO REMAIN
- (E) DOOR TO REMAIN
- (E) O.H. DOOR TO REMAIN
- (E) O.H. DOOR - INOPERABLE

**LEGEND**

NOTE: (E) DOORS TO BE INOPERABLE PROPOSED TO REMAIN FOR AESTHETIC PURPOSES. SIGNAGE WILL BE PROVIDED AS NEEDED.



38,990 GSF LOWER FLOOR

Project:  
**70 INDUSTRIAL WAY  
 SELF-STORAGE PROJECT**

70 INDUSTRIAL WAY  
 BUELLTON | CALIFORNIA | 93427

Client:  
**AJR CAPITAL GROUP**

70 INDUSTRIAL WAY  
 BUELLTON | CALIFORNIA | 93427

Consultant:  
**OMNI DESIGN INC.**

1326 CHORRO STREET  
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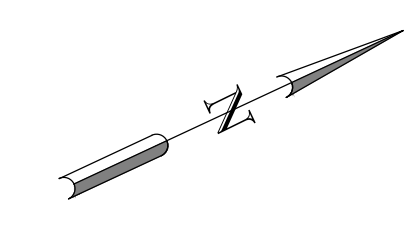
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PROJECT NUMBER: 2025-54  
 DATE: 09.25.2025  
 SHEET TITLE:

**FIRST FLOOR  
 DEMOLITION PLAN**

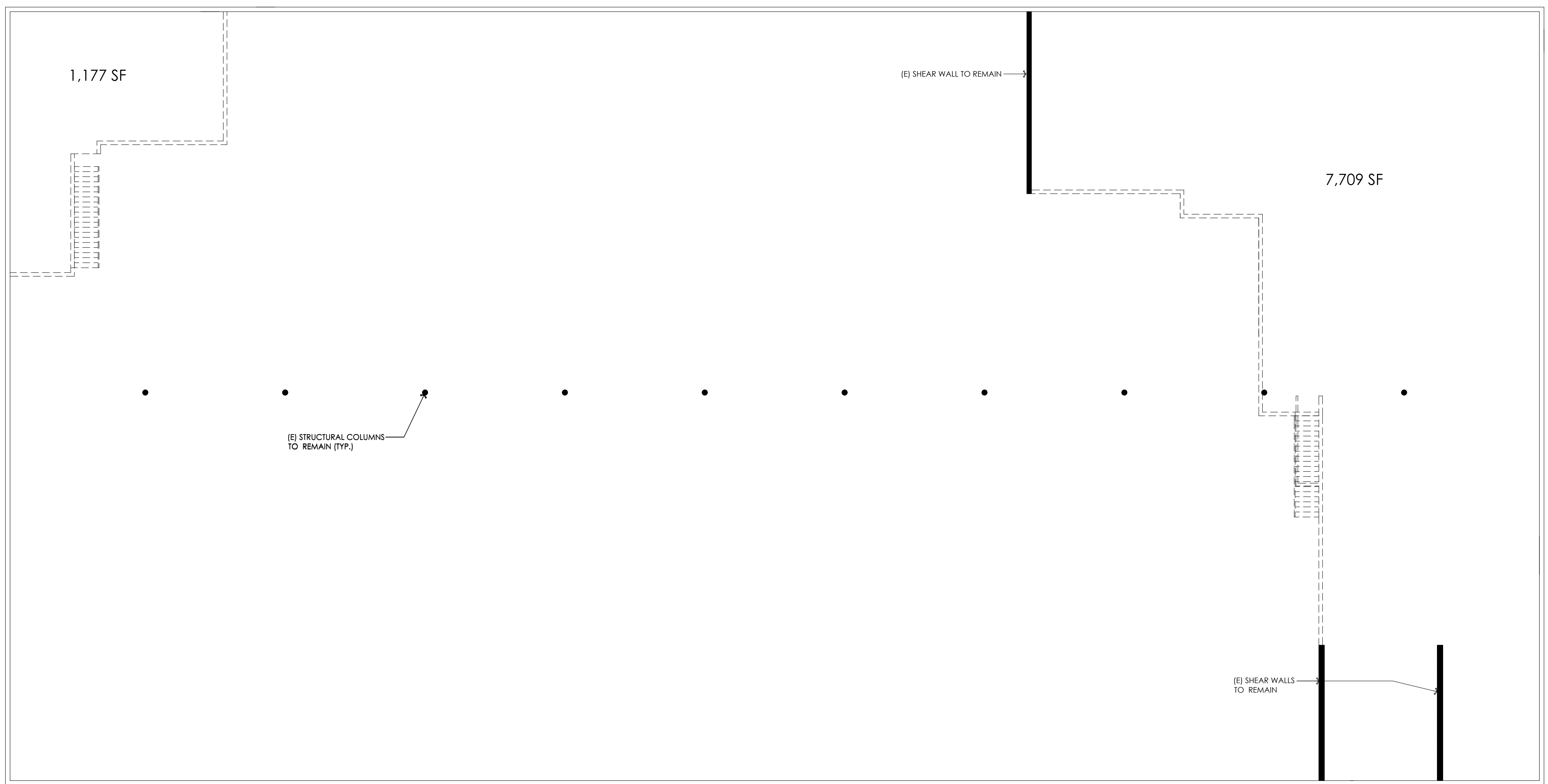
SHEET NUMBER:

**A1.1**



DEMO WALL/STAIRS    - - - - -  
 (E) WALL TO REMAIN    = = = = =

LEGEND



Project:  
**70 INDUSTRIAL WAY  
 SELF-STORAGE PROJECT**  
 70 INDUSTRIAL WAY  
 BUELLTON | CALIFORNIA | 93427

Client:  
**AJR CAPITAL GROUP**  
 70 INDUSTRIAL WAY  
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 1326 CHORRO STREET  
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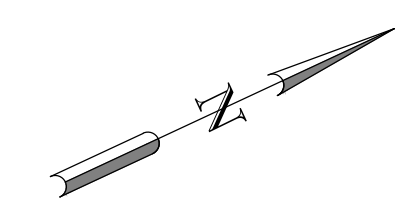
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PROJECT NUMBER: 2025-54  
 DATE: 09.25.2025  
 SHEET TITLE:

**MEZZANINE  
 DEMOLITION PLAN**

SHEET NUMBER:  
**A1.2**

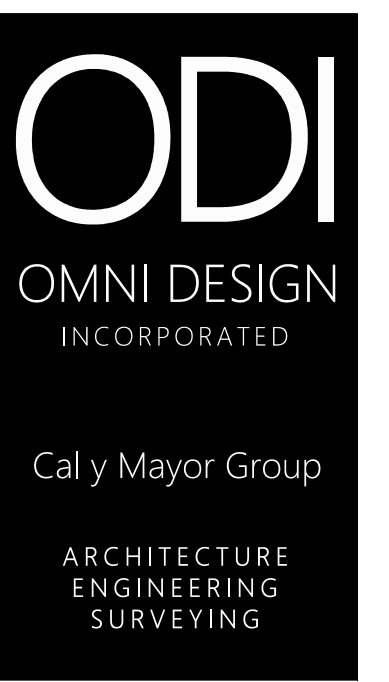




UNIT COUNT

DIMS	SIZE	QTY.	SF
10 X 16	160	1	160
10 X 15	150	11	1,650
10 X 12	120	19	2,280
10 X 10	100	97	9,700
10 X 8	80	28	2,240
10 X 5	50	27	1,350
10 X 7.5	75	23	1,725
12 X 7.5	90	2	180
8 X 6.5	52	4	208
5 X 5	25	2	50
5 X 7.5	38	1	38
5 X 8	40	4	160

TOTAL NO. UNITS = 219  
 TOTAL SF = 19,741 (71% OF TOTAL FLOOR SPACE)  
 TOTAL FLOOR SF = 27,783  
 AVG. UNIT SIZE = 82 SF



1326 CHORRO STREET  
 SAN LUIS OBISPO, CALIFORNIA  
 93401

Project:  
**70 INDUSTRIAL WAY  
 SELF-STORAGE PROJECT**

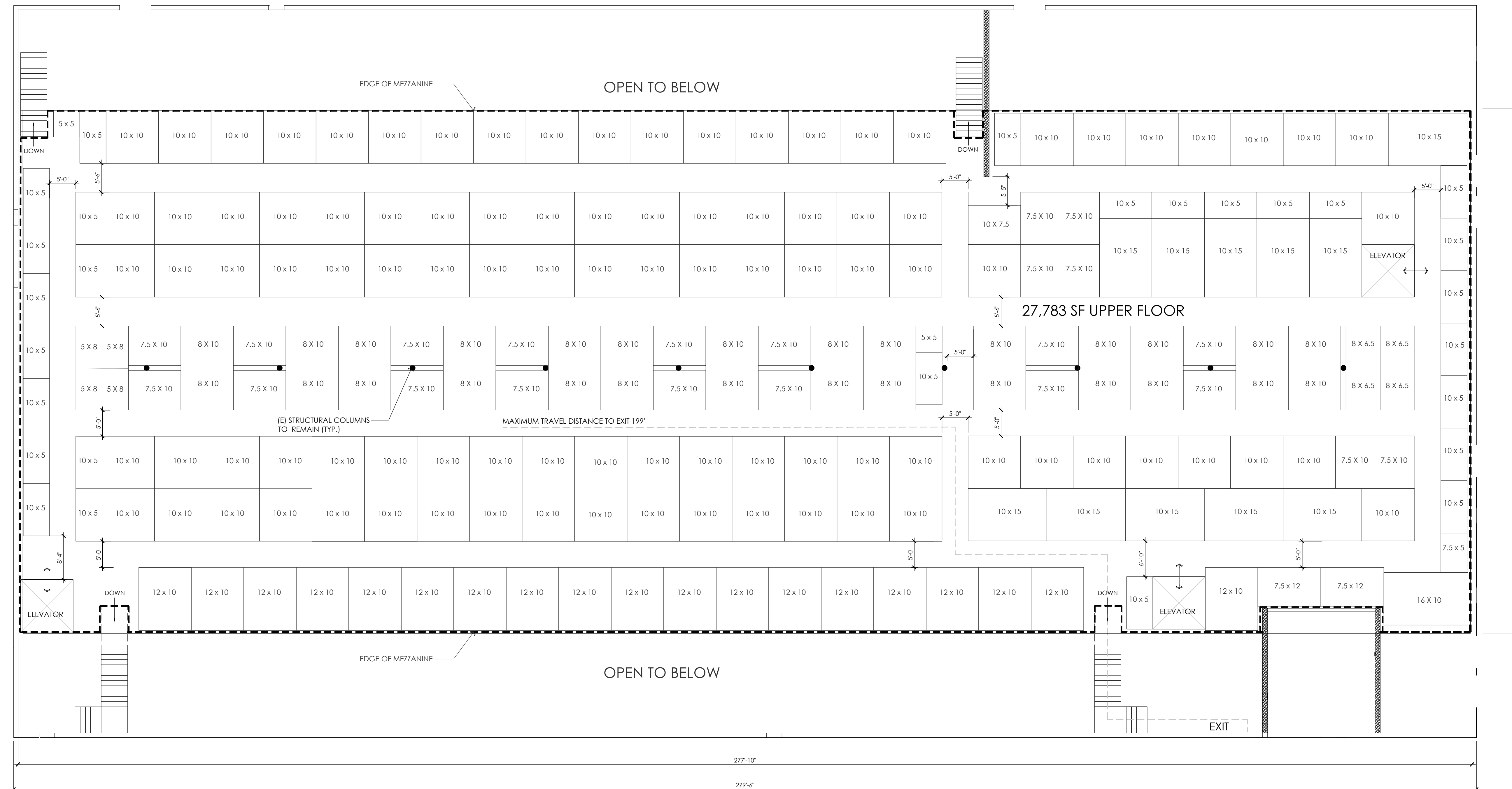
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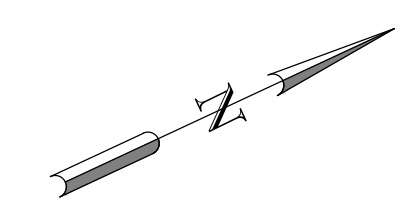
Written dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on this job and this office shall be notified in writing of any variations from the dimensions or conditions shown in these drawings.

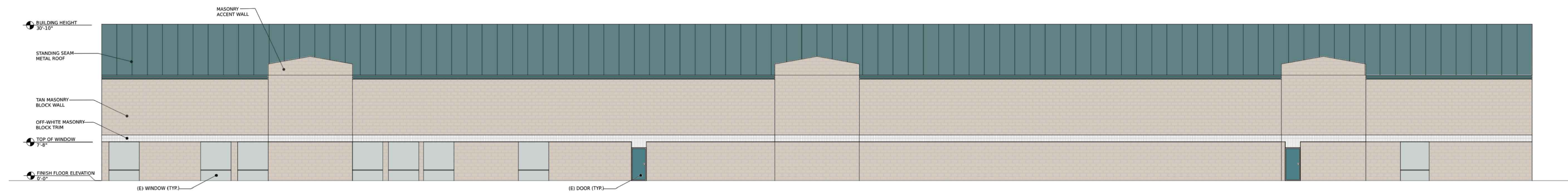
PROJECT NUMBER: 2025-54  
 DATE: 09.25.2025  
 SHEET TITLE:

**UPPER FLOOR  
 STORAGE UNIT  
 LAYOUT PLAN**

SHEET NUMBER:

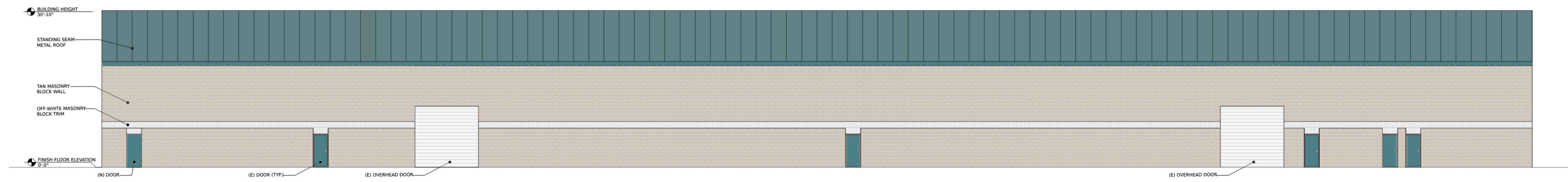
**A1.4**





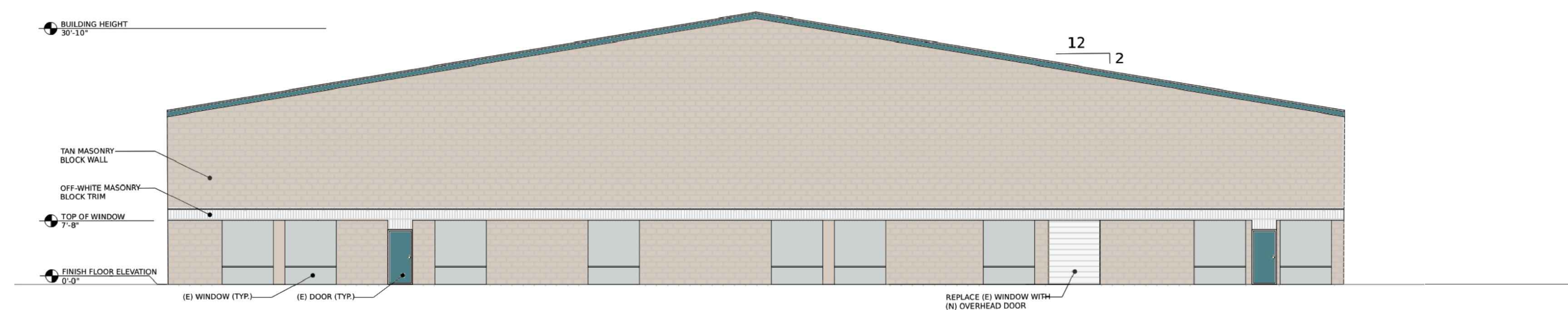
**EXTERIOR ELEVATION - WEST**  
 SCALE: 3/32" = 1'-0"

11



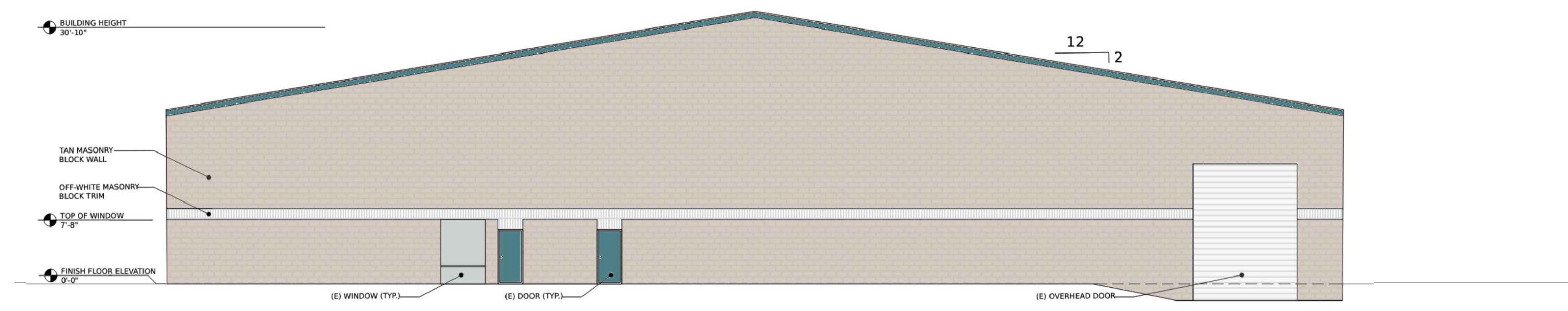
**EXTERIOR ELEVATION - EAST**  
 SCALE: 3/32" = 1'-0"

12



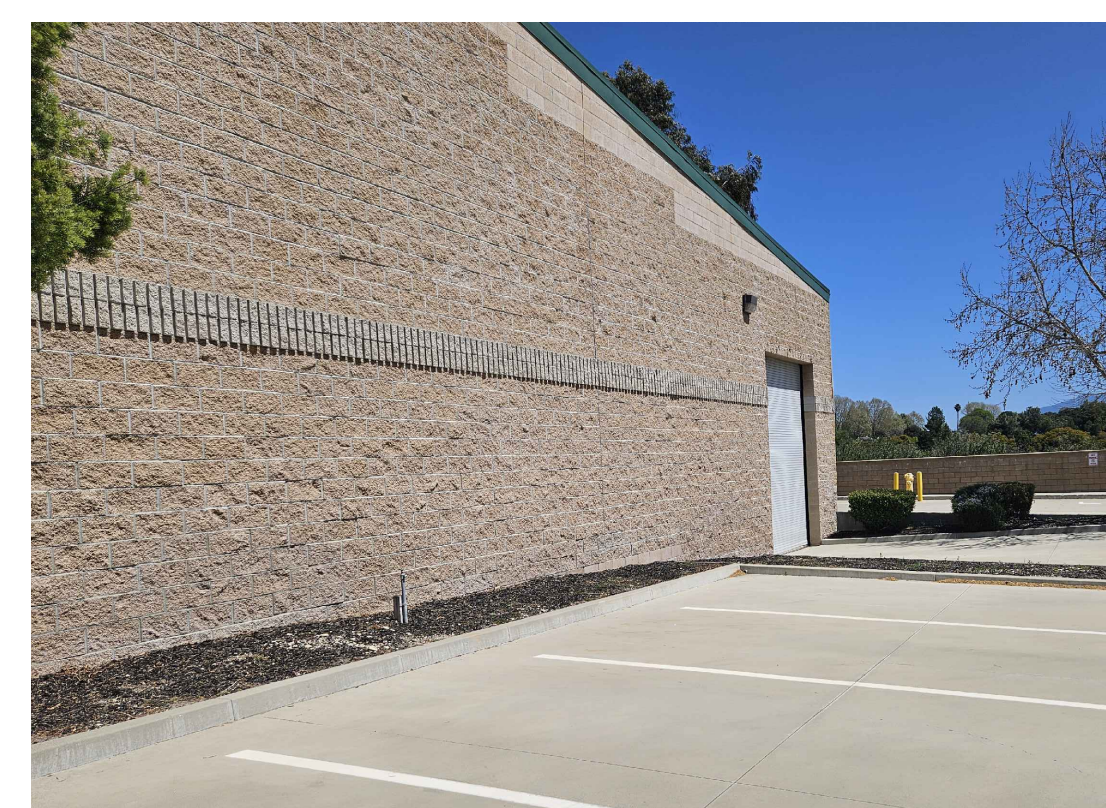
**EXTERIOR ELEVATION - NORTH**  
 SCALE: 3/32" = 1'-0"

23



**EXTERIOR ELEVATION - SOUTH**  
 SCALE: 3/32" = 1'-0"

24



Project:  
**70 INDUSTRIAL WAY  
 SELF-STORAGE PROJECT**  
 70 INDUSTRIAL WAY  
 BUELLTON | CALIFORNIA | 93427

Client:  
**AJR CAPITAL GROUP**  
 70 INDUSTRIAL WAY  
 BUELLTON | CALIFORNIA | 93427

Consultant:  
**OMNI DESIGN INC.**  
 1326 CHORRO STREET  
 SAN LUIS OBISPO | CALIFORNIA | 93401

No.	Revision	Date	By

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PROJECT NUMBER: 2025-54  
 DATE: 09.25.2025  
 SHEET TITLE:

**EXTERIOR  
 ELEVATIONS**

SHEET NUMBER:

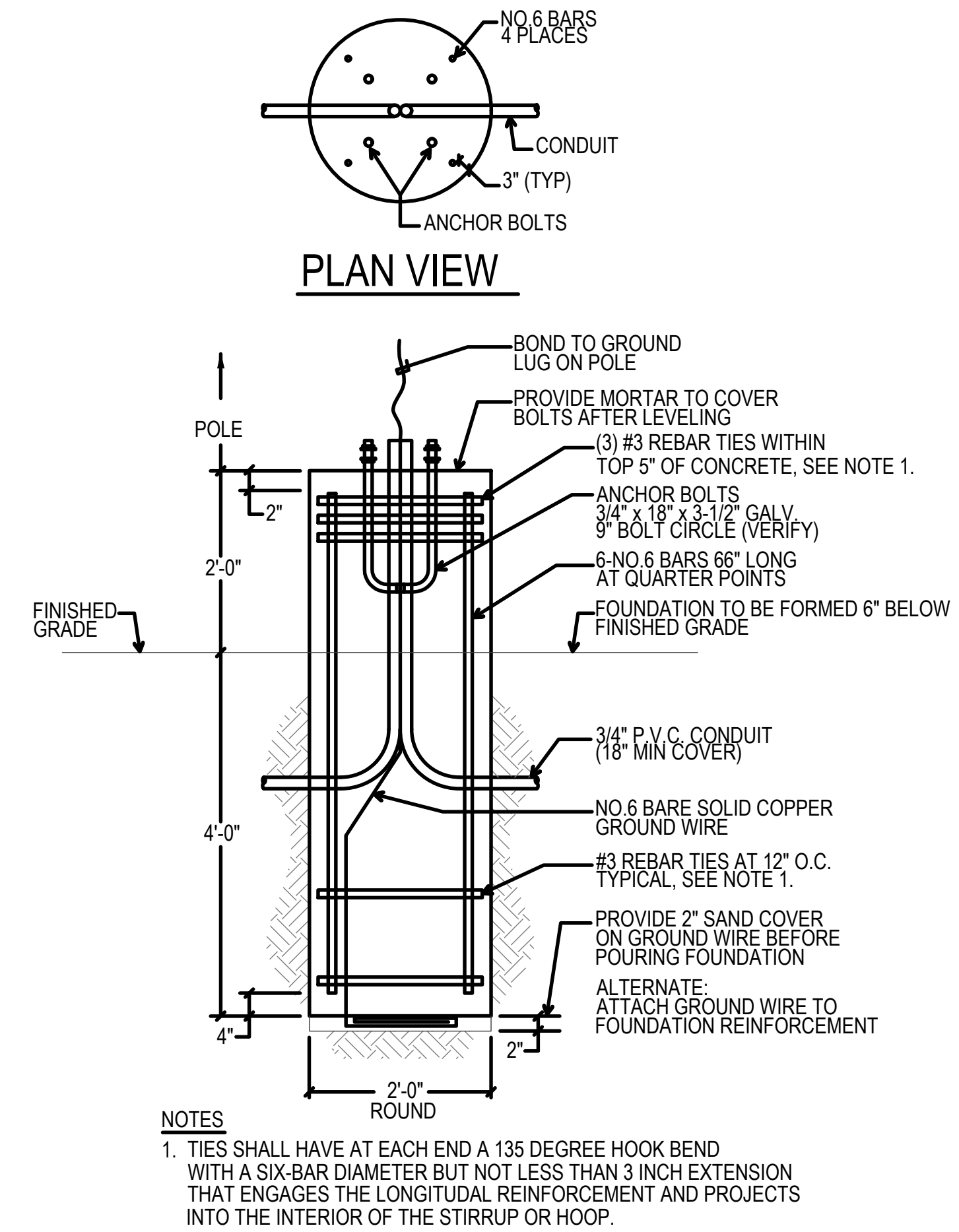
**A2.1**

### GENERAL NOTES

- VISIT JOB SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID.
- THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2022 CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES. WHERE PLANS CALL FOR A HIGHER STANDARD THAN APPLICABLE CODES, THE PLANS SHALL GOVERN.
- CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY. EXACT LOCATIONS SHALL BE DETERMINED IN THE FIELD TO SUIT FIELD CONDITIONS.
- ALL ELECTRICAL EQUIPMENT, APPLIANCES AND LIGHTING FIXTURES SHALL BE LISTED BY A RECOGNIZED TEST LAB AND BEAR THAT LABEL OF APPROVAL.
- CONTRACTOR SHALL FURNISH, INSTALL AND CONNECT ALL MATERIAL AND EQUIPMENT FOR THIS WORK UNLESS OTHERWISE NOTED.
- FURNISH DISCONNECT SWITCHES AT REMOTE MOTORS.
- ALL SPACES AS INDICATED ON PANELS OR SWITCHBOARDS SHALL BE COMPLETE WITH HARDWARE AND BUSSING FOR FUTURE BREAKER OR SWITCH.
- CHECK ARCHITECTURAL PLANS FOR DOOR SWINGS BEFORE INSTALLING SWITCH OUTLETS.
- GROUNDING AND BONDING SHALL BE PER CODE PLUS ANY ADDITIONAL PROVISIONS SPECIFIED OR SHOWN ON DRAWINGS.
- ALL CONDUIT RUNS SHALL CONTAIN A CODE SIZED GREEN GROUND WIRE.
- THESE PLANS ARE NOT COMPLETE UNTIL APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- ALL FEEDER CONDUCTORS SHALL BE IN CONDUIT. BRANCH CIRCUITS MAY BE NON-METALLIC SHEATHED CABLE.
- ALL CONDUCTORS SHALL BE COPPER WITH TYPE THHN/THWN INSULATION.

### SYMBOLS

- CONDUIT EXISTING
- CONDUIT CONCEALED IN WALL OR CEILING
- CONDUIT CONCEALED UNDER FLOOR OR BELOW GRADE
- CONDUIT STUBBED OUT AND CAPPED
- CONDUIT TURNED UP
- CONDUIT TURNED DOWN
- HATCH MARKS INDICATE NO. OF #12 WIRES IN CODE SIZED CONDUIT (3) MAX. IN 1/2" C., (5) MAX. IN 3/4" C., (8) MAX. IN 1" C., NO MARKS = 2#12
- HOME RUN: LETTER INDICATES PANEL, NUMBER(S) INDICATES CIRCUIT(S).
- SAWCUT
- GROUND CONNECTION
- DISTRIBUTION SWITCHBOARD OR PANEL
- PANEL, BRANCH CIRCUIT TYPE, SURFACE AND FLUSH
- SIGNAL TERMINAL CABINET, SURFACE & FLUSH
- LINEAR SURFACE FIXTURE
- OUTLET DATA: BAR INDICATES WALL MOUNT, LETTER INDICATES SWITCH CONTROL, NO. INDICATES CIRCUIT.
- SURFACE FIXTURE ON FLUSH OUTLET.
- RECESSED FIXTURE WITH JUNCTION BOX FOR THRU WIRING
- EXIT LIGHT WITH ARROWS AS SHOWN ON PLANS, WALL AND CEILING MOUNT.
- LOW LEVEL EXIT SIGN, +6" AFF, +4" FROM DOOR JAMB
- LIGHT FIXTURE DESIGNATION, LETTER INDICATES TYPE, NO. INDICATES WATTAGE. SEE FIXTURE SCHEDULE.
- MECHANICAL EQUIPMENT DESIGNATION. SEE MECHANICAL DRAWINGS.
- SPECIAL RECEPTACLE - SEE PLAN
- METER
- FLUSH FLOOR RECEPTACLE
- RECEPTACLE, DUPLEX, 15A, 125V, NEMA 5-15R +18" U.N.O.
- DUPLEX RECEPTACLE MTD. ABOVE BACKSPASH
- DUPLEX RECEPTACLE W/LOWER HALF SWITCHED
- GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE
- DOUBLE DUPLEX RECEPTACLE
- CEILING RECEPTACLE
- RECEPTACLE, DUPLEX, 20A, 125V, NEMA 5-20R +18" U.N.O.
- JUNCTION BOX 4" SQUARE, 1-1/2" DEEP U.N.O.
- THERMOSTAT F.B.O. +48"
- MOTOR, NO. INDICATES HORSEPOWER
- CLOCK OUTLET +7-6" U.N.O.
- DISCONNECT SWITCH, NON-FUSED
- DISCONNECT SWITCH FUSED HORSEPOWER RATED OR SIZED AS NOTED
- COMBINATION MAGNETIC STARTER WITH DISCONNECT SWITCH AND FUSES
- MAGNETIC MOTOR STARTER W/OVERLOADS IN EACH PHASE
- DIMMER W/INTEGRAL "ON-OFF" SW.
- PUSHBUTTON
- PHOTOCELL
- SMOKE DETECTOR, INTERCONNECTED W/ BATTERY BACK-UP
- COMBINATION SMOKE AND CO DETECTOR, INTERCONNECTED W/ BATTERY BACK-UP
- TELEPHONE/COMPUTER/DATA OUTLET, TWO GANG BOX W/1 GANG COVERPLATE & GROMMETED OPENING +18" U.N.O.
- CABLE TV OUTLET +18" U.N.O.
- MOTION SENSOR
- EXISTING SWITCH
- SINGLE POLE SWITCH
- DOUBLE POLE SWITCH
- THREE WAY SWITCH
- SWITCH W/PILOT LT.
- MANUAL MOTOR STARTER
- FACP
- GFI
- LST
- MLO
- w/
- C.O.
- W.P.
- F.B.O.
- U.N.O.
- N.E.C.
- N.I.C.
- (E)
- (N)
- (R)
- (RL)
- S/M
- U/G
- CWP
- AFF
- HACR
- N.L.
- NOTE: NOT ALL SYMBOLS SHOWN ARE USED ON THIS PROJECT.



LIGHT STANDARD FNDN DETAIL (A)

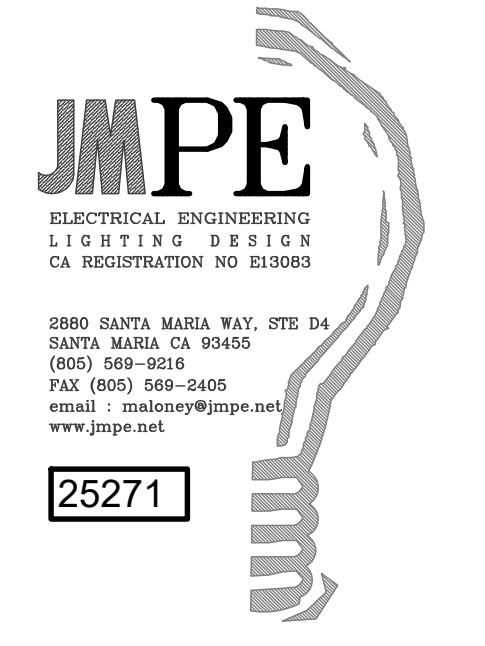
- NOTES**
- TIES SHALL HAVE AT EACH END A 135 DEGREE HOOK BEND WITH A SIX-BAR DIAMETER BUT NOT LESS THAN 3 INCH EXTENSION THAT ENGAGES THE LONGITUDAL REINFORCEMENT AND PROJECTS INTO THE INTERIOR OF THE STIRRUP OR HOOP.



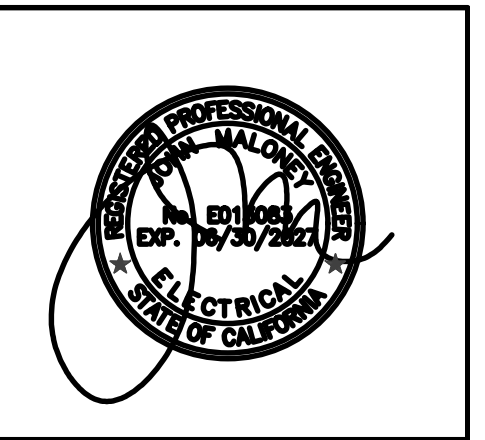
CLIENT:  
**AJR CAPITAL GROUP**

PROJECT:  
**2025-54**

JACOB ADLER



No.	Revision	Date	By



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PROJECT NUMBER: 2025-54  
DATE: 2025.09.26  
SHEET TITLE:  
**GENERAL NOTES  
SYMBOLS  
SINGLE LINE  
DIAGRAM**

SHEET NUMBER:  
**E1.0**





PROPOSED PLANT PALETTE

CENTRAL COAST

CENTRAL COAST CALIFORNIA  
DROUGHT TOLERANT PLANTINGS

SYMBOL	BOTANICAL NAME COMMON NAME	PLANT TYPE/WUCOLS PF	CONTAINER SIZE
	CISTIS HYBRIDUS WHITE ROCKROSE	MEDIUM SHRUB/LOW	5 GALLON
	RHAPHIOLEPIS UMBELLATA MINOR DWARF WHITE HAWTHORNE	MEDIUM SHRUB/LOW	5 GALLON
	SALVIA LEUCANTHA MEXICAN BUSH SAGE	MEDIUM SHRUB/LOW	5s GALLON
	HESPERALOE PARVIFLORA 'RED' YUCCA	SMALL SHRUB/LOW	1 GALLON
	PLUMBAGO 'IMPERIAL BLUE' BLUE PLUMBAGO	LOW SHRUB/LOW	5 GALLON
	COLEONEMA PULCHELLUM 'SUNSET GOLD'	LOW SHRUB/LOW	5 GALLON
	BACCHARIS PILULARIS PROSTRATE COYOTE BUSH	LOW SHRUB/LOW	1 GALLON 5" o.c.
	LANTANA MONTEVIDENSIS PURPLE LANTANA	LOW SHRUB/LOW	1 GALLON
	STACHYS BRIZANTINA LAMBS EAR	LOW SHRUB/LOW	1 GALLON
	FESTUCA MARIE ATLAS FESCUE	ORNAMENTAL GRASS/LOW	1 GALLON
	DICTYCTUS BUCCINATORIA RED TRUMPET VINE	VINE /LOW	5 GALLON

PROPOSED TREE LIST

CENTRAL COAST

CENTRAL COAST CALIFORNIA  
DROUGHT TOLERANT PLANTINGS

SYMBOL	BOTANICAL NAME COMMON NAME	PLANT TYPE	CONTAINER SIZE
	PLATANUS ACERFOLIA LONDON PLANE	35' -40'	48" BOX
	PRUNUS CERASIFER 'KRAUTER VESUVIUS' FRUITLESS CHERRY PLUM	20' -25'/MED LOW'	36" BOX

NOTES

- Plant material proposed is drought tolerant and meets the low water use requirements of the City's Design Guidelines. The soil type is Sorrento Loam and is compatible with the selected plant types. Proposed plantings shown at mature size.
- Existing landscape - See narrative this sheet. New landscape areas will be planted in compliance with the WELO State Ordinance.
- Existing Irrigation will be abandon in place and an all new WELO Compliant drip system will be constructed with a Smart Controller and Weather Station.
- WELO Irrigation Design Compliance and Preliminary Calculations are located this sheet.
- All Landscape areas will receive 3" of Walk-on-Bark per WELO ordinances.

WELO CALCULATION

APPENDIX A AND B WORKSHEET PRELIMINARY CALCULATION  
Regular Landscape Areas Total 9,096 ft<sup>2</sup>

(6) Hydrozones for (9096 ft<sup>2</sup>) with an average PF of 0.35 and an Eto of 47.4 (Buellton)  
MAWA = (47.4)(0.62)(0.55 x 9096) = 146,982 gals per yr.

(MAWA) Maximum Allowed Water Allowance = 146,982 gallons per year meeting the maximum water allowed use mandated by the State of California.

ESTIMATED TOTAL WATER USE PRELIMINARY CALCULATION - ETWU Buellton 47.4

Hydrozone No.	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PFxIE)	Total Landscape Area sft <sup>2</sup>	ETAF x Area	Est. Total Water Use (ETWU)
#1 - #2 TREES	.35	Drip	.81	.2835	(part of total)	0	0
#3 - #6 Reg	.35	Drip	.81	.2835	9096	2578	75762
				A = .9096	B = 2359		
				TOTAL ETWU		75,742*	
				TOTAL MAWA		146,982	

\*ETWU = Eto x 0.62 x ETAF x Area.  
ETAF Calculations - Regular Landscape Areas: All Landscape Areas. The average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

Total ETAF x Area	(B)	Total ETAF x Area	(B+D)
	(A)	Total Area	(A+C)
Average ETAF	B/A	Sitewide ETAF	(A+C) ÷ (B+D)

WELO CERTIFICATE OF COMPLIANCE

This Landscape Plan, when installed, will comply with the City of Buellton's Municipal Code and the Water Conservation Mandate "Water Efficient Landscape Ordinance" (WELO) prepared in accordance with the water efficient landscape work sheets Appendix A and Appendix B. The WUCOLS values were from the State Guidelines will be used to determine final PF (plant factor) value in the final calculation in the construction document phase.

The water conservation method for the new landscape plant material will have a LOW PF (Plant Factor) rating and the ETWU (estimated total water use) per year is estimated to be with in the Maximum Allowable Water Allocation (MAWA) which will be calculated for the project. Additionally, a "Smart Controller" with a climate control weather station will be used to monitor the irrigation water and pro-rate daily water consumption to the minimum requirements for each hydrozones. All trees will be irrigated on separates systems so that once established, water can be regulated in a more efficient manner.

TERRY LEE, ASLA

Terry Lee, Landscape Architect RLA#4108

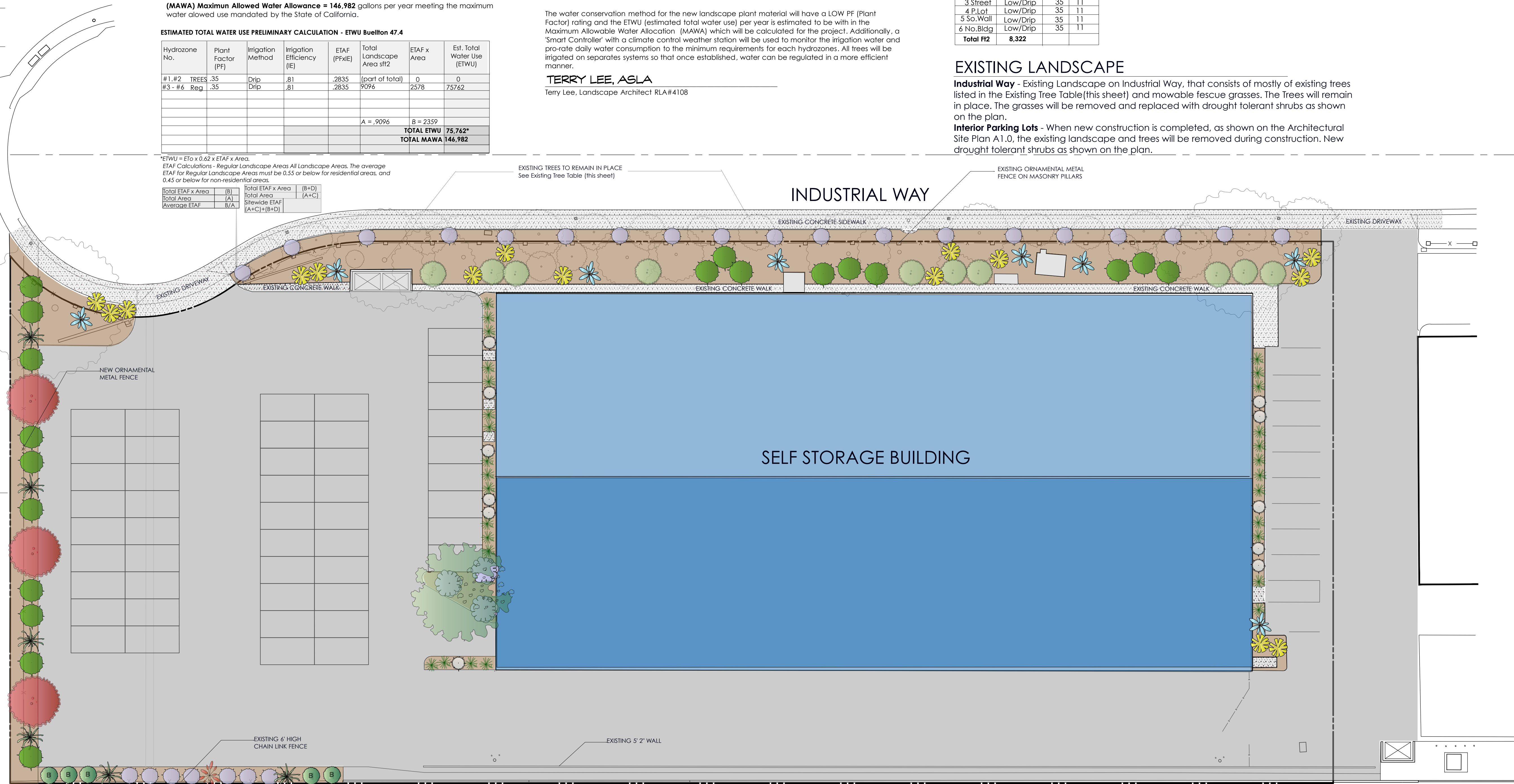
HYDROZONE TABLE

Hydro-Zone/Pf	Type	PSI	GPM
1 Trees	Drip	35	16
2 Trees	Drip	35	16
3 Street	Low/Drip	35	11
4 Pkg	Low/Drip	35	11
5 No. Wall	Low/Drip	35	11
6 No. Bldg	Low/Drip	35	11
<b>Total ft<sup>2</sup></b>	<b>8,322</b>		

EXISTING LANDSCAPE

**Industrial Way** - Existing Landscape on Industrial Way, that consists of mostly of existing trees listed in the Existing Tree Table (this sheet) and mowable fescue grasses. The Trees will remain in place. The grasses will be removed and replaced with drought tolerant shrubs as shown on the plan.

**Interior Parking Lots** - When new construction is completed, as shown on the Architectural Site Plan A1.0, the existing landscape and trees will be removed during construction. New drought tolerant shrubs as shown on the plan.



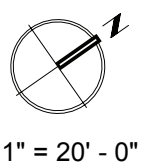
EXISTING TREE TABLE

LOCATION	TREE TYPE	QTY	COMMENT
Industrial Way	California Sycamore	4	To Remain In Place
	European Sycamore 'London Plane'	18	To Remain In Place
	Quercus Agropholia 'Coastal Live Oak'	5	To Remain In Place
Interior Parking Lot So. West	California Sycamore	2	To Be Removed During Construction
	European Sycamore 'London Plane'	3	To Be Removed During Construction

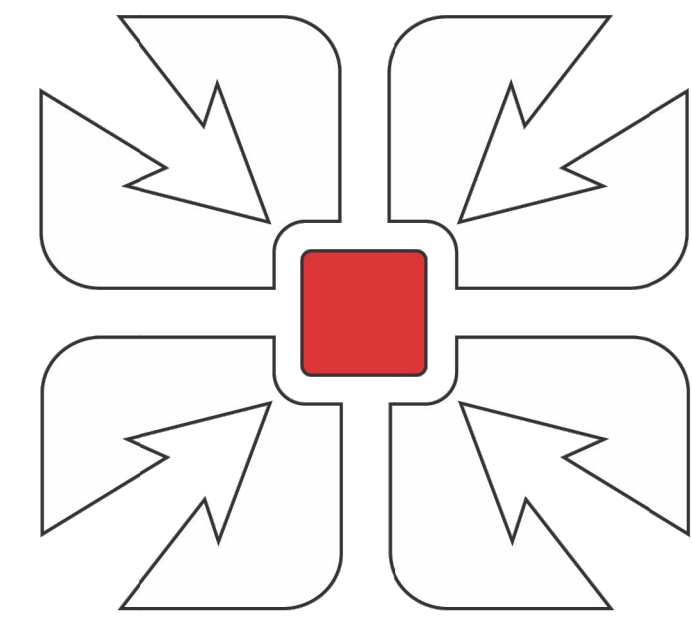
LANDSCAPE AREAS SQUARE FOOTAGE

EXISTING LANDSCAPE AREAS TO BE REPLANTED  
 West Front - 5,364 sqft  
 South Parking Lot - 1,681 sqft  
 North Parking Lot - 581 sqft  
 Total Existing to be Replanted - 7,646 sqft

NEW LANDSCAPE AREAS TO BE PLANTED  
 East Back Fence - 676 sqft  
 Total Landscape Areas - 8,322 sqft (8.7%)



1" = 20' - 0"



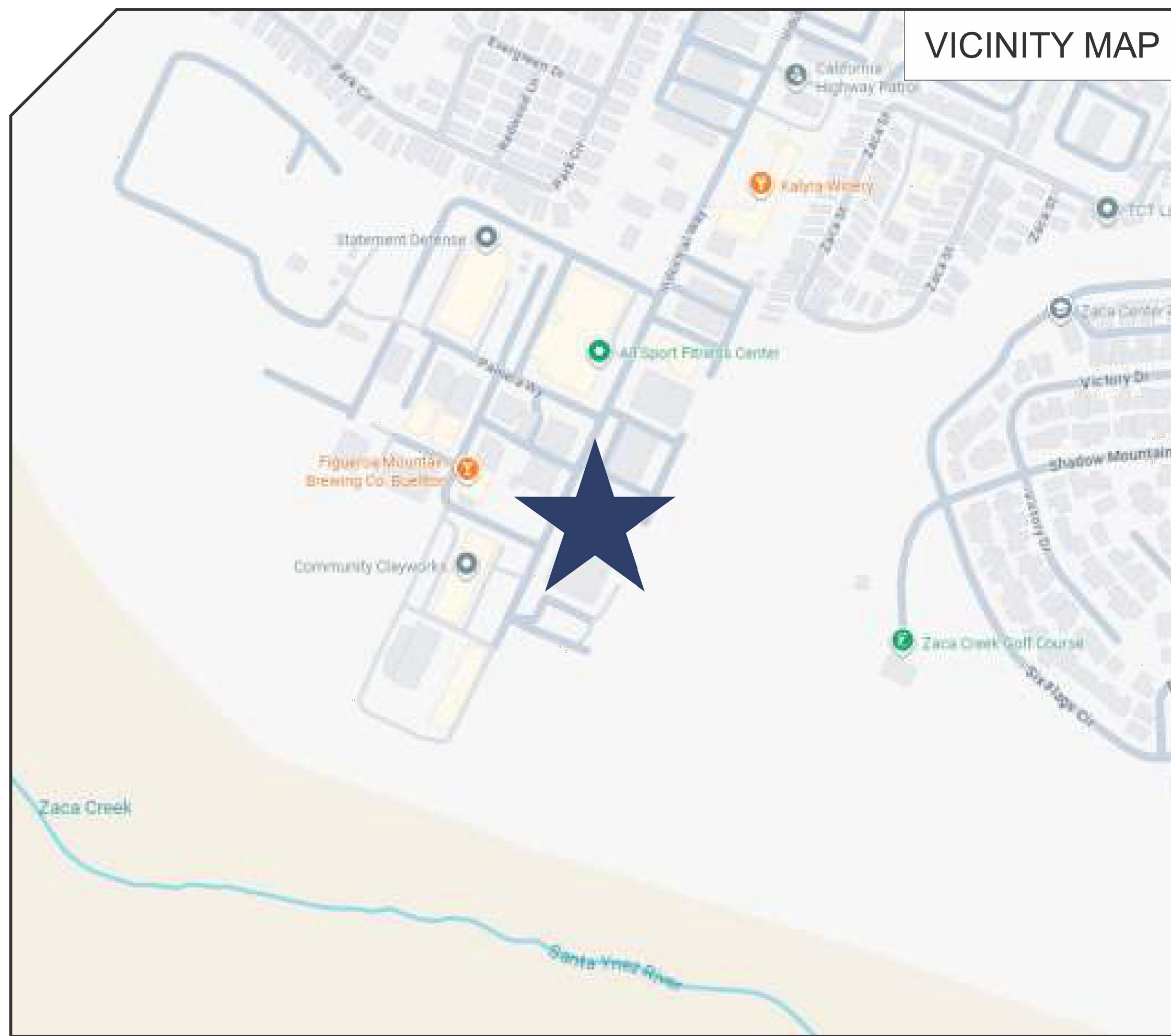
# StorQuest<sup>®</sup>

## SELF STORAGE

**Buellton, CA**

**SCOPE OF WORK**

- SIGN A: Manufacture and install (1) Face-lit Channel Letter Sign
- SIGN B: Manufacture and install (1) FCO Letters Sign
- SIGN C: Manufacture and install (1) unit of D/F Post Panel Sign



13158 ARCTIC CIR.  
SANTA FE SPRINGS  
CALIFORNIA 90670  
PH: (562) 436-5188  
www.TDISIGNS.com

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**PROJECT INFO:**  
StorQuest  
Buellton, CA  
  
70 Industrial Way,  
Buellton, CA 93427

**Account Manager:** C. Flores  
**Designer:** JA  
**Approval:**

#	INT.	DATE	DESCRIPTION
1	JA	8/12	Initial Drawing
2	JA	8/19	Updated post panel sign
3	HS	1/1	DESCRIPTION
4	HS	1/1	DESCRIPTION
5	HS	1/1	DESCRIPTION

**1 OF 5**  
**08/19/25**  
**250840-02.0**

**STOREFRONT ELEVATION: SIGN A,B & C**



**NOTE: FIELD SURVEY REQUIRED TO CONFIRM ALL EXACT SIGN SIZES.**

**SCALE:** 1/4" = 1'-0"



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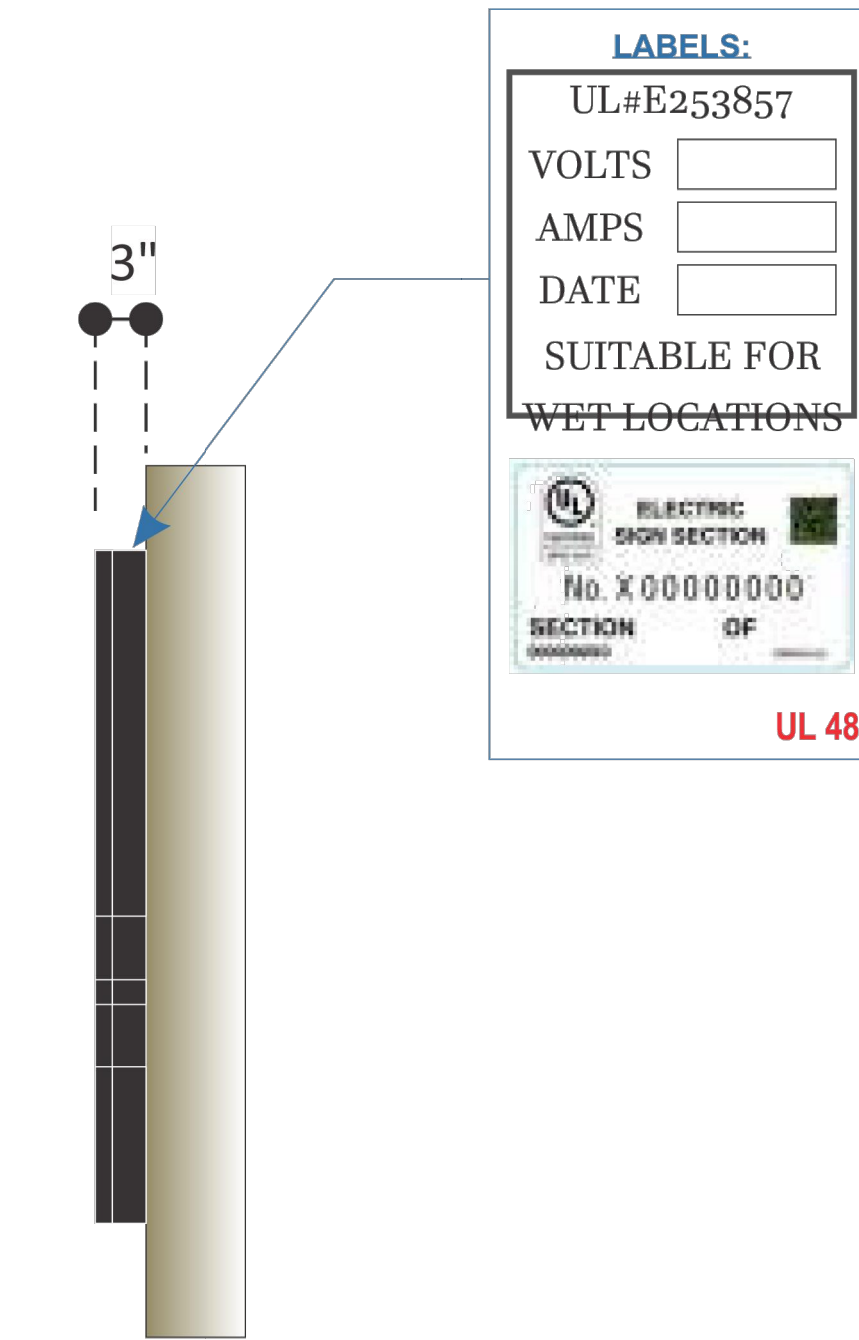
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# FACE-LIT CHANNEL LETTERS: SIGN A



SIDE VIEW

**QTY:** One (1) Set (27pcs ILLUM.  
1pc NON-ILLUM. TOTAL)

**WEEP HOLES REQUIRED:**

YES  NO

**DESIGN STANDARD DEVIATIONS:**

• None

**SIGN AREA:** 49.84 SF

**SCALE:** 1/2" = 1'

**COLOR CHART:**

- Face>Returns: Exposed 7328 White Acrylic
- Returns: Pre-Coated Black  
1st Surface Opaque Black Vinyl
- 1st Surface 3M 3630-33 'Red' Vinyl
- LEDs: 6500k

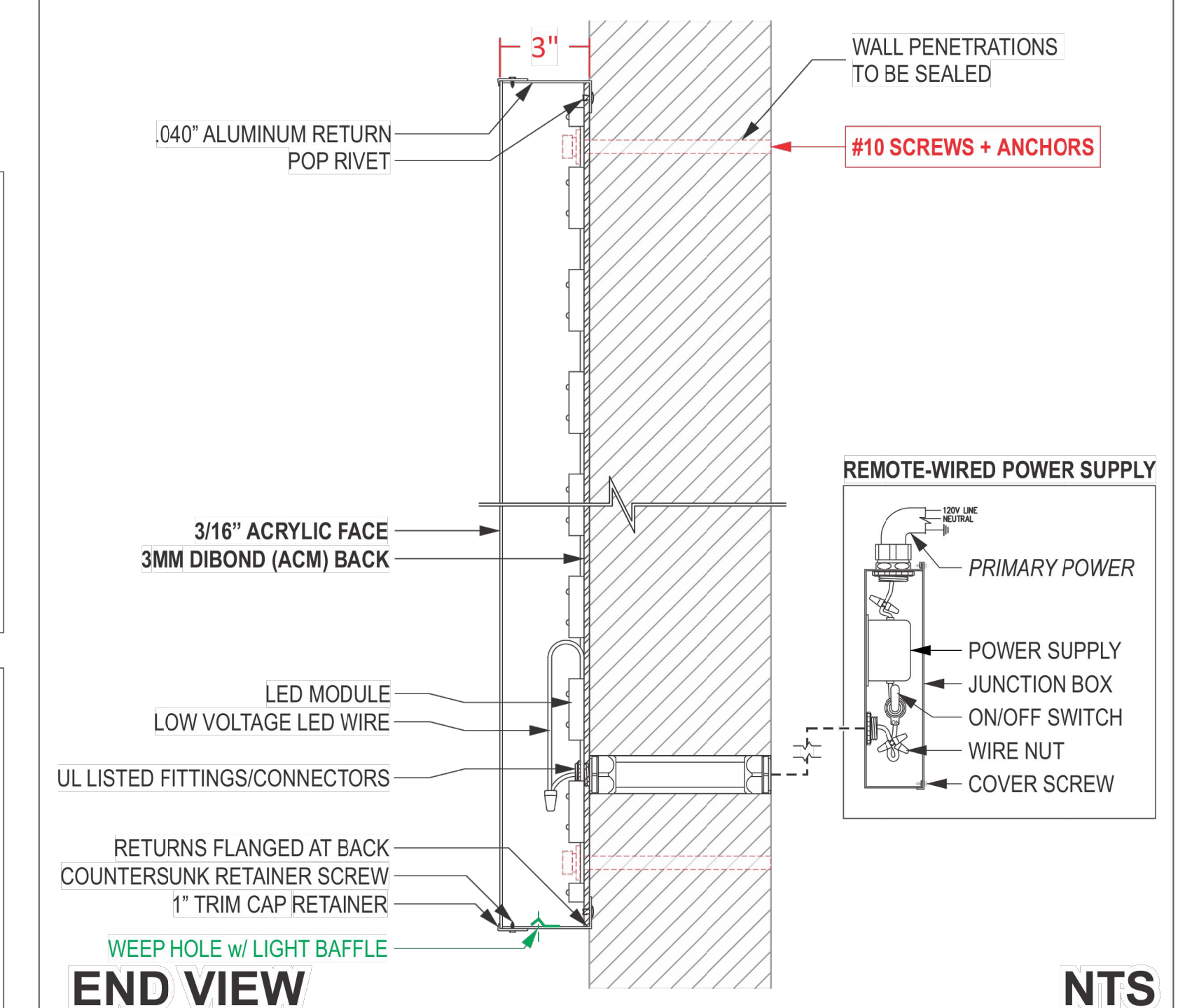
**L37 GROUNDING & BONDING STATEMENT:**

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. **UL 48**

**L38 DISCONNECT SWITCH STATEMENT:**

The location of the disconnect switch after installation shall comply with Article 600.6(A)(1) of the National Electrical Code. **UL 48**

**FACE-LIT CHANNEL LETTER TYP.**



END VIEW

NTS



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Buellton, CA

70 Industrial Way,  
Buellton, CA 93427

**Account Manager:** C. Flores  
**Designer:** JA

**Approval:**

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**3 OF 5**  
**08/19/25**  
**250840-02.0**

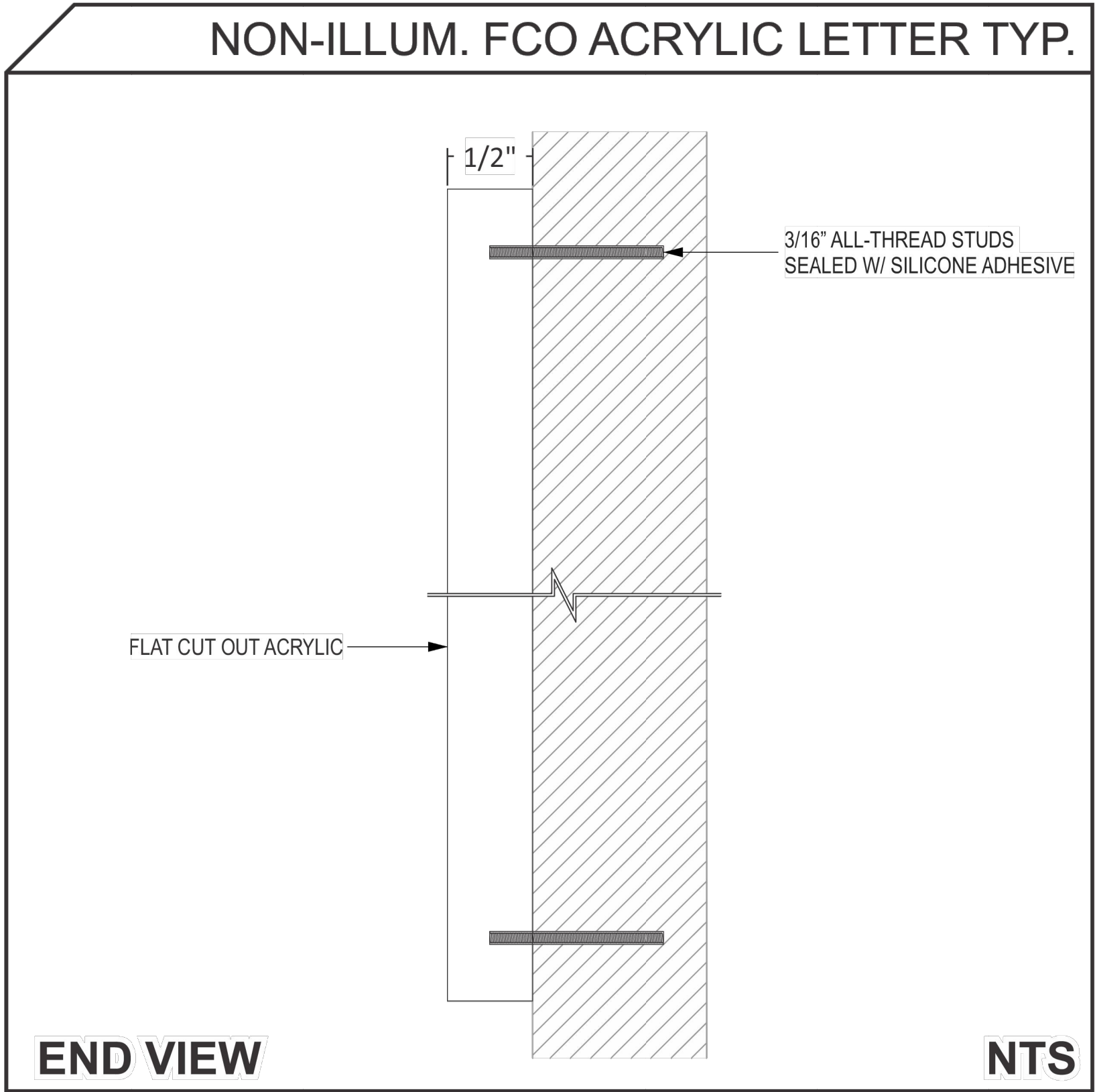


**SIGN B** QTY: 1 set (13pcs)

**COLOR CHART**  
 ■ PTM Black

**SIGN AREA:** 4.06 SF

**SCALE:** 1 1/2" = 1'



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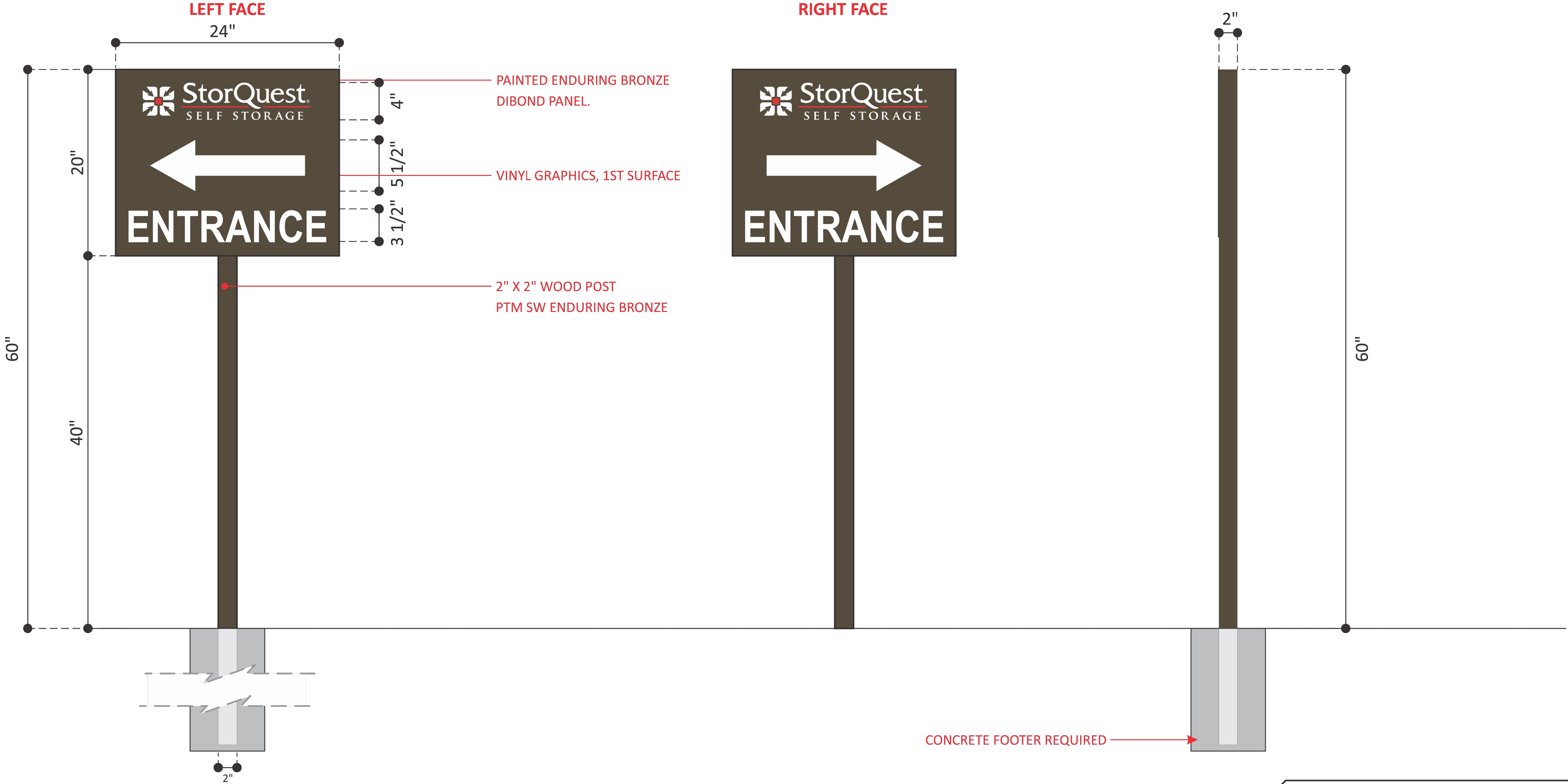
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 Buellton, CA  
 70 Industrial Way,  
 Buellton, CA 93427

**Account Manager:** C. Flores  
**Designer:** JA  
**Approval:**

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5	HS	1/1	DESCRIPTION

D/F WOODEN PANEL POST SIGN : SIGN C



**DESIGN STANDARD DEVIATIONS:**

- None

**COLOR CHART:**

- Copy : Opaque White Vinyl
- Panel Face/Post: PTM SW Enduring Bronze

**Sign C - Panel** **QTY. 1 unit**

MATERIAL: 3mm Dibond Panel  
 COPY: Vinyl copy  
 PAINT: As specified  
 POST: Wood Post

**SIGN AREA:** **3.33 SF**

**SCALE:** **1" = 1'**



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70 Industrial Way,  
 Buellton, CA 93427

**Account Manager:** C. Flores  
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**Approval:** \_\_\_\_\_

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**5 OF 5**  
**08/19/25**  
**250840-02.0**

