



ON DESIGN, LLC

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July 7, 2025

City of Buellton, Planning Department
107 West Highway 246
Buellton, CA 93427

RE: Development Plan & Tentative Parcel Map Application. 33 Industrial Way. APN 075-191-044. Proposed Self Storage Facility

Dear Planning Staff,

On behalf of Central Holding Group, LLC, I am pleased to submit an application for a Final Development Plan, Minor Use Permit, and Tentative Parcel Map to develop the subject project area with a 148,595-square foot Self Storage Facility. Below summarized is consistency with the General Plan, Design Guidelines, and brief zoning consistency analysis. In addition, this submittal includes;

- **Project Plans.** Proposed redevelopment plans
- **Tentative Parcel Map.** Proposed two lot tentative parcel map
- **Water & Waste Water Demand Report.** Estimated water demand and waste water generation for the proposed project
- **Geotechnical Engineering Report.** Soils report for the proposed project
- **Phase 1 Environmental Site Assessment.** Phase 1 ESA for the proposed project area
- **Industrial Way Self Storage Parking Analysis.** Parking analysis to support the proposed amount of parking spaces.
- **Phase 1 Archaeological Assessment.** Archaeological report for the proposed project
- **Preliminary Hydrologic and Hydraulic Report.** Hydro Report for the proposed project
- **Preliminary Stormwater Control Plan.** Stormwater Control Plan for the proposed project



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- **Preliminary Title Report.** Preliminary title report dated April 24, 2024
- **Sewer Lift Station Memorandum.** Design memo for new sewer lift station

Purpose of Request

The purpose of this request is of the Property Owner to seek approval of the aforementioned permits in compliance with City Standards to develop the 5.08-acre project area addressed as 33 Industrial Way, Assessor Parcel Number 075-191-044, with a self-storage facility. The facility includes five structures, a managers building, two three-story self-storage buildings, and two one-story for sale condominium self-storage buildings. A two lot Tentative Parcel Map is proposed to subdivide the parcel into two parcels and put the two condominium buildings on a separate parcel from the remainder of the facility.

Site Information

Site Size:	APN 075-191-044, 5.08 Acres
Comprehensive Plan Designation:	Industrial, Open Space, Parks and Recreation
Ordinance and Zoning:	Industrial/Manufacturing (M), Open Space (OS)
Surrounding Use, Zoning:	North: M, Industrial Park South: OS, Santa Ynez River, Detention Basin East: M & OS, Industrial Park West: M & OS, Vacant
Services/Systems:	Water: City of Buellton Sewer: City of Buellton



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Fire: Santa Barbara County Fire
Police: Santa Barbara County Sheriff
Access: Industrial Way via easement,
APN 099-820-013

Existing Easements:

- 20' Trail easement (along southerly property line)
- 150' Access easement (along southerly property line)
- 23' Private drainage easement (along westerly property line)
- 6' Private drainage easement (along northerly property line)
- 12' Temporary construction easement (along northerly property line)
- 20' Public Water Easement (At northeast corner of property)
- Portion of 30' easement for access and utilities (At northeast corner of property)
- Water easement (Along easterly property line)

Present Use and Development:

The subject project site is located on a single parcel south of Highway 246, west of Industrial Way and just north of the Santa Ynez River. The parcel is addressed as 33 Industrial Way, Buellton, CA. The parcel is identified as



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APN 099-191-044. The site is largely undeveloped. A sewer lift station is located along the north property line that accepts waste water from the surrounding industrial developments and pumps it to the City's package plant to the northwest. There is an existing water main located at the northeast portion of the property along with nominal hardscape improvements. The northerly half of the site also includes a soil stockpile that is approximately 4 to 8 feet high. The remainder of the site is undeveloped. The property was historically used for agricultural purposes prior to the industrial development that surrounds it.

Project Description

The existing site will largely be cleared and grubbed to accommodate the proposed self-storage project. The existing sewer lift station along the northerly property line will be removed and replaced with a new, relocated lift station. The existing water main within the existing 20' Public Water Easement at the northeast corner of the property is proposed to be removed and relocated within the existing 30' Public Utility Easement. The existing hardscape encroachment from 35 Industrial Way is proposed to remain and easement granted for use of that area.



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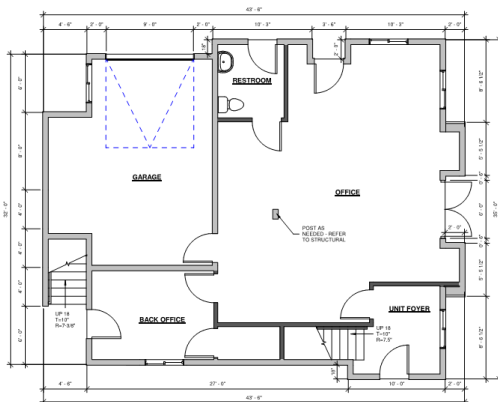
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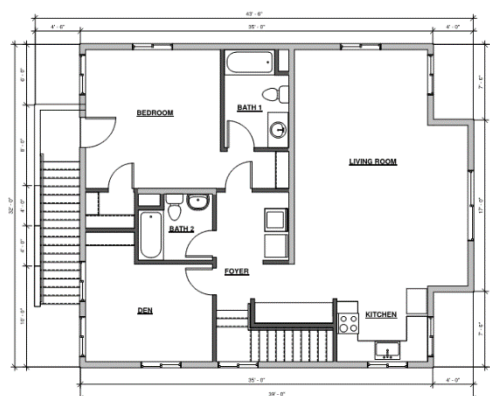
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The project is proposed to be developed with a 148,595 square foot self-storage facility. The facility includes five structures including a 2,455 square foot Managers Building, 53,340 square foot three-story self-storage building (Building A), 73,500 square foot three-story self-storage building (Building B), 11,800 square foot one-story self-storage condominium building (Building C), and a 7,500 square foot one-story self-storage condominium building (Building D). The managers building is proposed to be located at the northeast corner of the property with Building A south of it along the easterly property line. Buildings B through D are located sequentially east to west from Building A.

The Managers Building is two-stories with a maximum height of 31'-2", includes the leasing office and garage on the ground floor and 1-bedroom residential unit on the second floor. The office portion is 968 square feet, which includes a private office in addition to the leasing office portion. The garage is 342 square feet and can accommodate a single vehicle. The managers residential unit is 1,145 square feet and proposed as a 1-bedroom, 1-bathroom plus den. A 445 square foot private yard area is proposed for the managers use that is accessible via the private office on the ground floor or exterior stairs from the second floor bedroom. Consistent with the Community Design Guidelines, the building is utilizing the Agrarian architectural character with a plaster base, board and batten second floor, stone accents, and standing seam metal roofing. See below for floor plans and elevations.



1st Floor Plan



2nd Floor Plan



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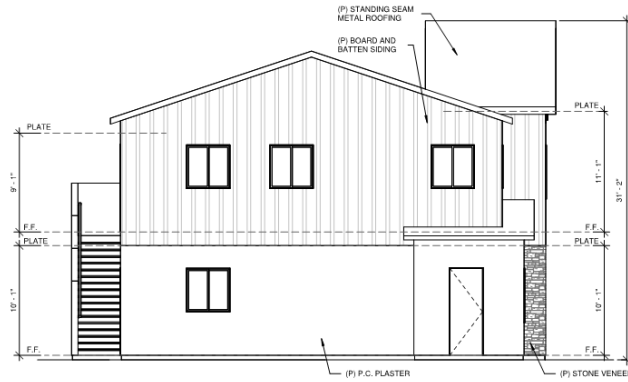
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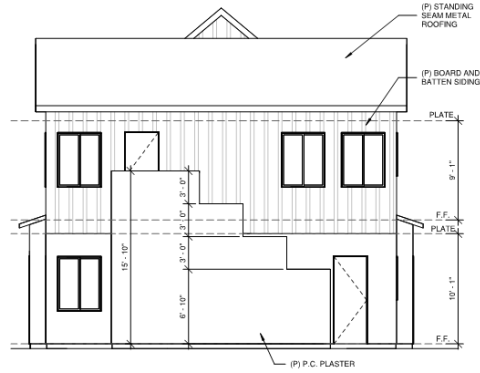
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North Elevation



East Elevation



South Elevation



West Elevation

Building A is three-stories with a maximum height of 31'-6" and 53,340 square feet. 14,560 square feet of the building is utilized as circulation while the remaining 38,780 square feet is utilized as storage units. The 1st floor has 88 storage units. The second and third floor each have 206 storage units. Access to the building is located along the westerly and southerly sides. An elevator is located along the center of the westerly side of the building. Stairwells are located at the north and south ends of the building. Consistent with the Community Design Guidelines, the building is utilizing the Agrarian architectural character with a concrete masonry unit (CMU) base, corrugated metal siding, and standing seam metal roofing. See below for floor plans and elevations.

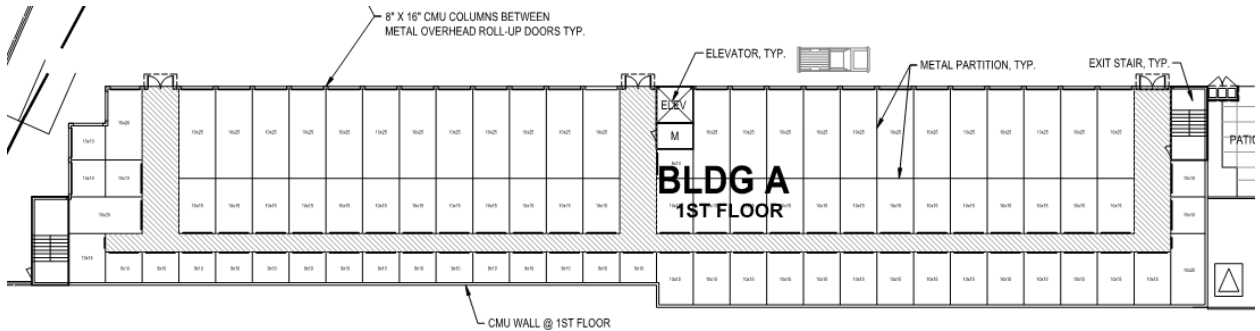


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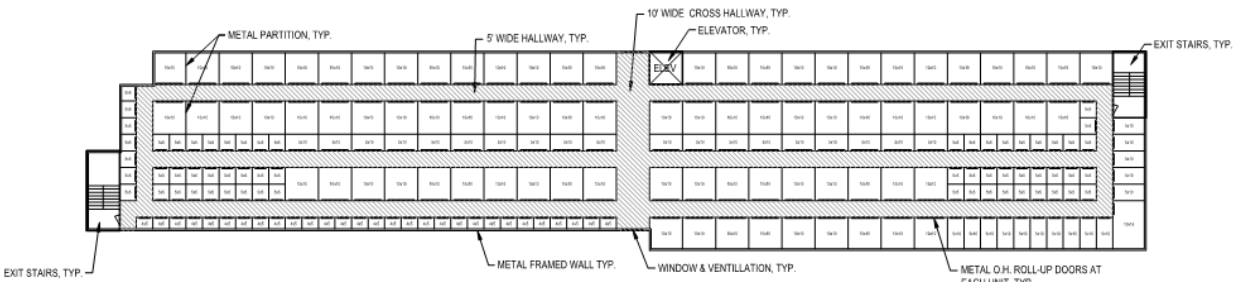
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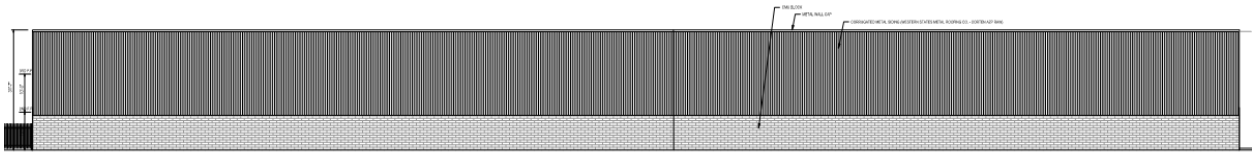
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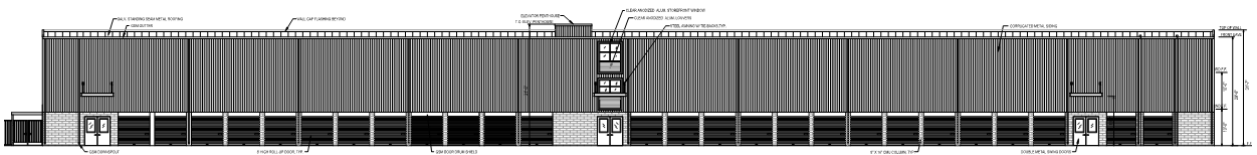
1st Floor Plan



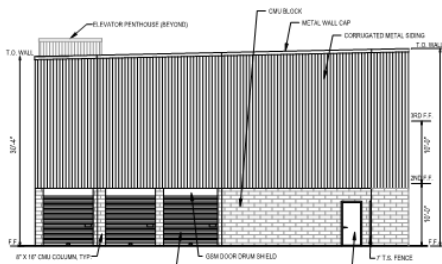
2nd & 3rd Floor Plan



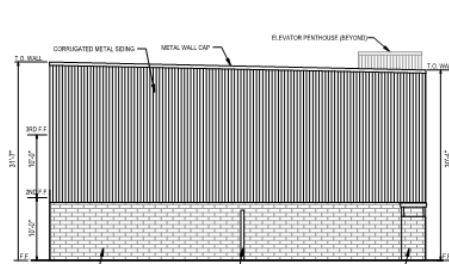
East Elevation



West Elevation



South Elevation



North Elevation



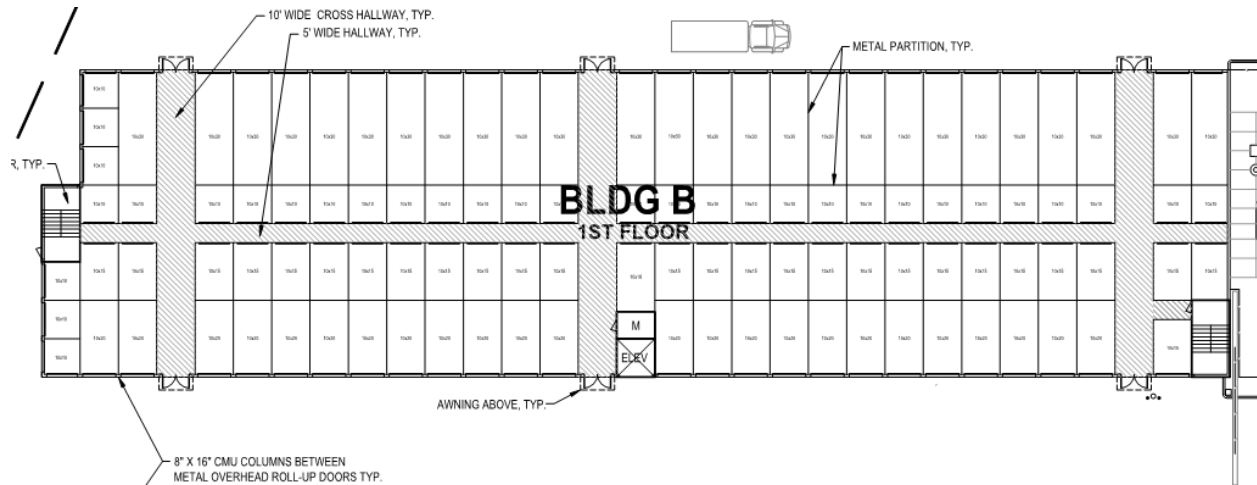
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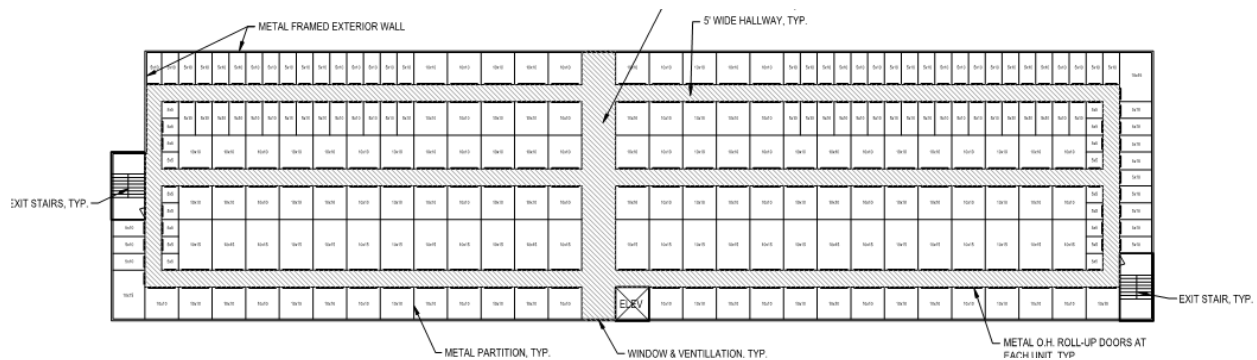
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Building B is three-stories with a maximum height of 31'-6" and 73,500 square feet. 16,270 square feet of the building is utilized as circulation while the remaining 57,230 square feet is utilized as storage units. The 1st floor has 111 storage units. The second and third floor each have 225 storage units. Access to the building is located along the westerly, southerly, and easterly sides. An elevator is located along the center of the easterly side of the building. Stairwells are located at the north and south ends of the building. Consistent with the Community Design Guidelines, the building is utilizing the Agrarian architectural character with a concrete masonry unit (CMU) base, corrugated metal siding, and standing seam metal roofing. See below for floor plans and elevations.



1st Floor Plan



2nd & 3rd Floor Plan

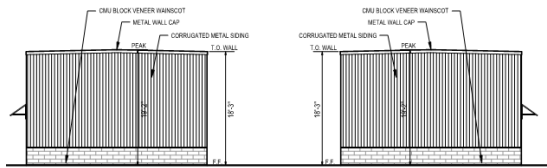


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North Elevation

South Elevation

The subject parcel is located within a flood plain and regulatory floodway. The northerly 3.03-acres of the parcel is outside the regulatory floodway while the southerly 2.04-acres is within the regulatory floodway. All structures are located outside the regulatory floodway and their finished floor elevation are raised a minimum 2' above the base flood elevation. There are minor fill encroachments within the regulatory floodway by the southerly loop drive aisle.

Primary access to the subject parcel is via an easement at its northeast corner, identified as APN 099-820-013 that provides access to Industrial Way. The projects primary drive aisle along the northerly property line takes access from this existing easement. All other drive aisles take access from the northerly drive aisle and out to Industrial Way with the exception of five parking spaces east of the Managers Building that take access from the existing 30' drive aisle that straddles the easterly property line. Two parking spaces and a RV waste station are located along the northerly drive aisle. The RV waste station includes a dump station, water station and air station.

The northerly drive aisle is unsecured around the Managers Building. A manual swing gate is proposed beyond the first north south drive aisle that would be locked after closing hours for additional security. During operation hours, the gate would be secured open to allow access to the interior drive aisles. Each interior drive aisle is secured at the northerly drive aisle with slide automatic gates that would be operable via a gate code. The interior drive aisles are all looped to provide easy access out of the facility.



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Two parking spaces are provided south of Building A and Building D, providing a total of 11 parking spaces for the storage use plus the one garage space for the manager.

The most westerly drive aisle between Building D and the westerly property line provides access to the portion of the parcel within the regulatory floodway. This would also provide access to a proposed emergency vehicle access easement at the southeast corner of the property that wraps around the existing building on 35 Industrial Way out to Industrial Way. The regulatory floodway portion of the site is proposed to be utilized as the projects detention/infiltration basin with the surface being finished as gravel for stability purposes.

The project only provides trash service for the office and managers unit. A small trash enclosure is proposed south of the Managers Building that will include three 65-gallon waste carts. A new and upgraded sewer lift station is proposed north of Building C that will tie into the existing sewer lines. A fire water utility systems loops through the site for onsite hydrants and fire sprinklers. Three water meters are proposed adjacent to the Managers Building. One meter is for landscape irrigation, one meter is for the Managers Building and one meter is for Buildings C and D. Storm drain inlets collect water from the building roofs and drive aisles and convey them to the aforementioned detention/infiltration basin in the regulatory floodway via an outfall.

The self-storage facility is anticipated to have operation hours of 9 am to 5 pm with storage access from 7 am to 7 pm. An association and CC&Rs will be established for the for sale condominium storage units in Buildings C and D.

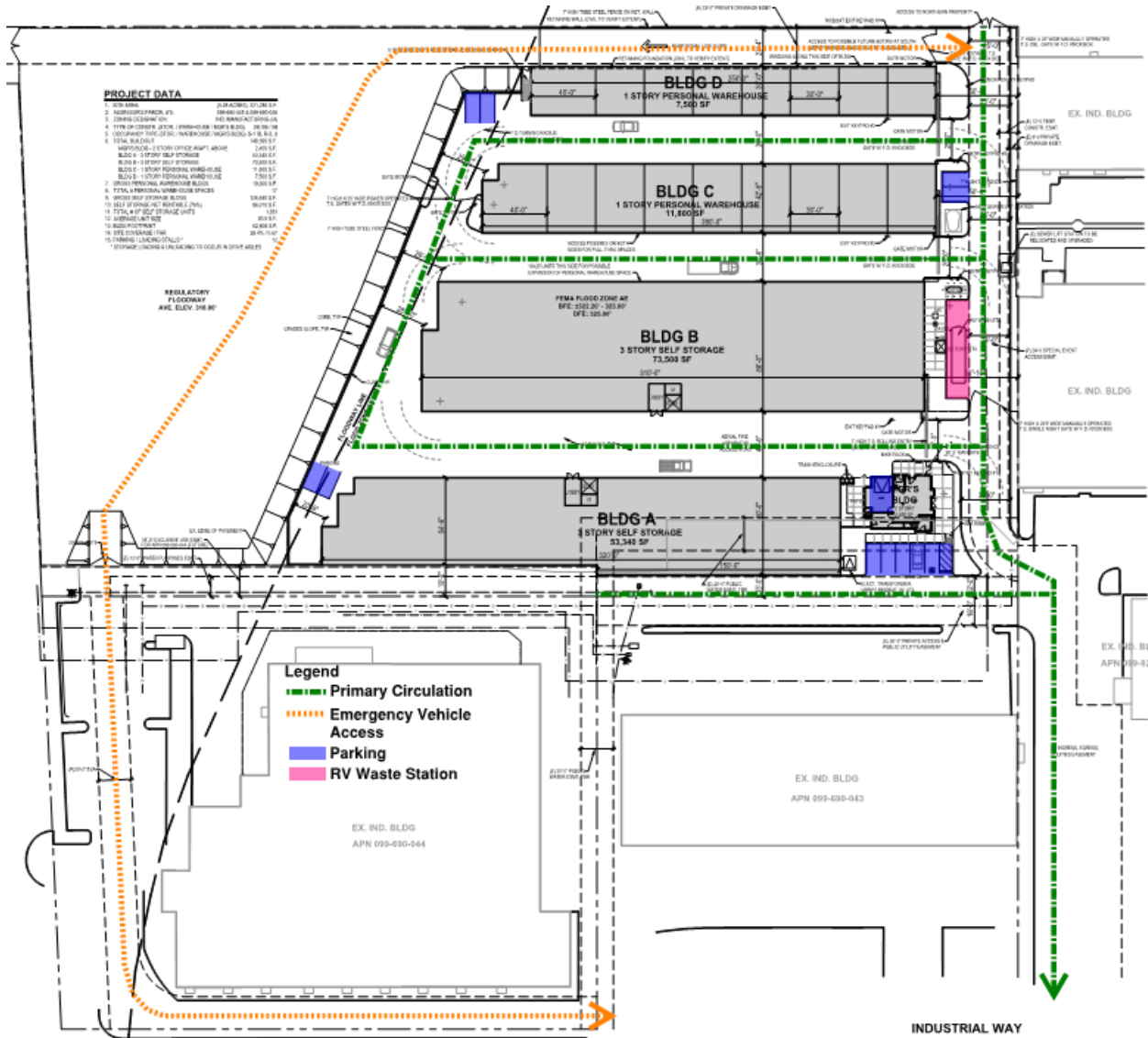


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Circulation Exhibit



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Development Standard Consistency

Below is a table with the major development standards with a consistency analysis of the proposed project.

<i>DEVELOPMENT STANDARD</i>	<i>CITY REQUIREMENT</i>	<i>PROPOSED PROJECT</i>	<i>PROJECT CONSISTENCY</i>
<i>Proposed Uses</i>	<i>Industrial/Manufacturing (M), Open Space (OS)</i>	<i>Self Storage, Caretaker/Employee Housing</i>	<i>Consistent, Development Plan & Minor Use Permit</i>
<i>Minimum Lot Area</i>	<i>No Minimum</i>	<ul style="list-style-type: none"> • Parcel A: 1.16 AC • Parcel B: 3.92 AC 	<i>Consistent</i>
<i>Residential Density</i>	<i>None allowed</i>	<i>1 Unit, Managers Unit</i>	<i>Consistent. Zoning conflict as it is a permitted use.</i>
<i>Setbacks</i>	<ul style="list-style-type: none"> • Interior: None (Section 19.02.220) • Interior: 10' (Section 19.04.160.B.3) 	<ul style="list-style-type: none"> • East: 13' • North: 50'-6" • West: 24'-9" • South 173'-7" 	<i>Consistent</i>
<i>Site Coverage</i>	<i>50% Maximum</i>	<i>28.4%</i>	<i>Consistent</i>
<i>Floor Area</i>	<i>No Maximum</i>	<i>148,595 SF</i>	<i>Consistent</i>
<i>Height limit</i>	<i>45' Maximum</i>	<ul style="list-style-type: none"> • 31'-6" from FF • 35'-9" from Average Existing Grade 	<i>Consistent</i>
<i>Parking</i>	<ul style="list-style-type: none"> • Storage: No standard • Residential: 1 per Unit 	<ul style="list-style-type: none"> • 11 for Storage • 1 for Unit 	<i>Consistent, See parking study supporting proposed parking</i>
<i>Parking Design</i>	<ul style="list-style-type: none"> • 9' wide by 16.5' Deep 	<ul style="list-style-type: none"> • 9 Spaces (9'x18') • 2 Spaces (9'x16.5') 	<i>Consistent</i>
<i>Loading</i>	<i>4 Spaces required</i>	<i>Loading to be done adjacent to the buildings in the drive aisle for short periods of time</i>	<i>Consistent</i>
<i>Landscaping</i>	<ul style="list-style-type: none"> • 10% net lot area (22,154 SF) • Side and rear 5' min. planter. Front 10' min. 	<ul style="list-style-type: none"> • 22,629 SF landscape • N/A: no side, rear or front setback 	<i>Consistent</i>



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<i>Signage</i>	<i>60SF Sign area permitted</i>	<i>21.33 SF Wall Sign (subject to change)</i>	<i>Consistent</i>
<i>Fencing</i>	<ul style="list-style-type: none">• <i>6' (Exempt for Land Use Permit)</i>• <i>Land Use Permit required for taller fences</i>	<i>7' high fences and gates proposed with permit</i>	<i>Consistent</i>
<i>Lighting</i>	<i>Hooded and no unobstructed beam of light directed toward residential or conflict with street</i>	<i>Dark sky compliant fixtures proposed.</i>	<i>Consistent</i>

General Plan Consistency

Below are General Plan Goals and Policies most applicable to the proposed project and how the project complies.

L-4: New development shall be restricted from areas where natural conditions are likely to pose a substantial threat to public safety or produce excessive maintenance costs.

- The project is designed to raise the development area above the floodplain so that natural conditions do not pose a substantial threat to public safety.

L-5: New development shall not be allowed unless adequate public services are available to serve such new development.

- The proposed use is a very low intensity use and does not produce much demand on public services. Existing infrastructure is located either on or adjacent to the site providing adequate services.

L-12: All exterior lighting in new development shall be located and designed so as to avoid creating substantial off-site glare, light spillover onto adjacent properties, or upward into the sky. The style, location and height of the lighting fixtures shall be submitted with building plans and shall be subject to approval by the City prior to issuance of building or grading permits, as appropriate.



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- Dark sky compliant lights area proposed and generally all oriented on the interior of the project.

L-34: Industrial development shall be encouraged in the area east of McMurray Road on Easy Street and Commerce Drive, and on Industrial Way.

- The project is located on Industrial Way

C-7: The City should discourage new commercial or industrial development that allows customers, employees or deliveries to use residential streets. The circulation system should be designed so that non-residential traffic (especially truck traffic) is confined to nonresidential areas.

- The project only requires the use of Industrial Way and Highway 246 to access the site

C-15: Parking and storage for recreational vehicles and boats should be provided so as not to compete with or diminish the availability of off-street parking is available for passenger vehicles. In particular, RV and boat parking within the Avenue Revitalization Area should be accommodated as recommended in the Urban Design Plan

- The project provides an additional location in the City that residents could store their boat or RV.

C-16: The City shall require the provision of adequate off-street parking in conjunction with all new development. Parking shall be located convenient to new development and shall be easily accessible from the street. The City may reduce required off-street parking for projects that employ transit demand management strategies that reduce vehicle trips to the site, where there is on-street angular parking along the Avenue of Flags, and for mixed use shared parking. The adequacy and appropriateness of parking requirements in the Zoning Ordinance shall be periodically evaluated and adjusted, if necessary.



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- The parking study for the project supports that adequate off-street parking has been provided and the parking is also dispersed throughout the site.

C-24: New development should provide sidewalks and pedestrian paths consistent with applicable State, federal and local plans, programs and standards.

- Consistent with code, self-storage facilities are not required to be on an accessible route as it is expected that users will drive to their storage units.

C/OS-1: Encourage efficient water use by existing and future development.

- The project has a very low water use demand.

C/OS-2: Encourage implementation of Best Management Practices to eliminate/minimize the impacts of urban run-off and improve water quality.

- The project incorporates BMPs in the project by utilizing the portion of the site in the regulatory floodway as a detention/infiltration basin.

C/OS-18: Encourage the preservation of cultural resources consistent with state and federal requirements by ensuring development does not adversely affect such resources or by mitigating adverse effects in accordance with state and federal regulations.

- The project has submitted a Phase 1 Archeological Assessment that found the likelihood of undiscovered cultural resources to be very low.

PF-3: New development shall pay its fair share to provide additional facilities and services needed to serve such development.

- The project will pay city required development impact fees for the project.

PF-6: All new development shall connect to City water and sewer systems.

- The project will connect to City water and sewer systems



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PF-9: Engineered drainage plans may be required for development projects which: (a) involve greater than one acre, (b) incorporate construction or industrial activities or have paved surfaces which may affect the quality of stormwater runoff, (c) affect the existing drainage pattern, and/or (d) has an existing drainage problem which requires correction. Engineered drainage plans shall incorporate a collection and treatment system for stormwater runoff consistent with applicable federal and State laws.

- The project includes engineered grading and drainage plans.

PF-10: Encourage applicants for discretionary development projects to employ practices that reduce the quantities of wastes generated and engage in recycling activities to further reduce the volume of waste disposed of in landfills.

- The project does not provide trash service to the storage units as it has been found that providing them encourages throwing away of items instead of recycling or reselling.

PF-11: Encourage site planning which helps reduce crime surveillance through appropriate lighting, access, ease of features such as alarms and security systems as may be required by the police department

- The project incorporates adequate lighting for security purposes and will have a 24-hour surveillance system. The project also incorporates a Manager's Unit, so that personal will always be onsite.

S-1: New development (habitable structures including commercial and industrial buildings) shall be set back at least 200 feet from the bank of the Santa Ynez River. A lesser setback may be allowed if a hydro-geologic study by a qualified professional can certify that a lesser setback will provide an adequate margin of safety from erosion and flooding due to the composition of the underlying geologic unit, to the satisfaction of the County Flood Control District, and a lesser setback will not adversely impact sensitive riparian corridors or associated plant and animal habitats, as determined by a



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qualified biologist, or planned trail corridors. Passive use trails may be allowed within setback areas.

- Buildings and intensive site development are located further than 200 feet from the Santa Ynez River.

S-3: New development in mapped flood prone areas shall be subject to the requirements of the Federal Emergency Management Agency.

- The project has located buildings outside the regulatory floodway and their finished floor elevations will be raised up 2' above the base flood elevations.

S-10: Require that adequate soils, geologic and structural evaluation reports be prepared by registered soils engineers, engineering geologists, and/or structural engineers, as appropriate, for all new development proposals for subdivisions or structures for human occupancy

- A geotechnical engineering report has been submitted with the project.

S-12: New development should minimize erosion hazards by incorporating features into site drainage plans that would reduce impermeable surface area, increase surface water infiltration, and/or minimize surface water runoff during storm events. Such features may include: Additional landscape areas, Parking lots with bio-infiltration systems, Permeable paving designs, and Storm water detention basins.

- The project incorporates a detention/infiltration basin.



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Conclusion

The proposed Self-Storage Facility is consistent with City goals, policies and development standards with approval of the submitted Final Development Plan, Minor Conditional Use Permit, and Tentative Parcel Map. Please do not hesitate to contact our offices should you have any questions or require additional materials.

ON Design Architects, LLC

Lonnie Roy

Project Planner

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