

873 Premier Street

Public Information Meeting
April 28 - May 9



Official Community Plan (OCP) Zoning

OCP - RES 3 zoning

Predominantly ground-oriented multifamily housing within neighborhoods.

FSR (Floor Space Ratio) up to approximately 0.8.

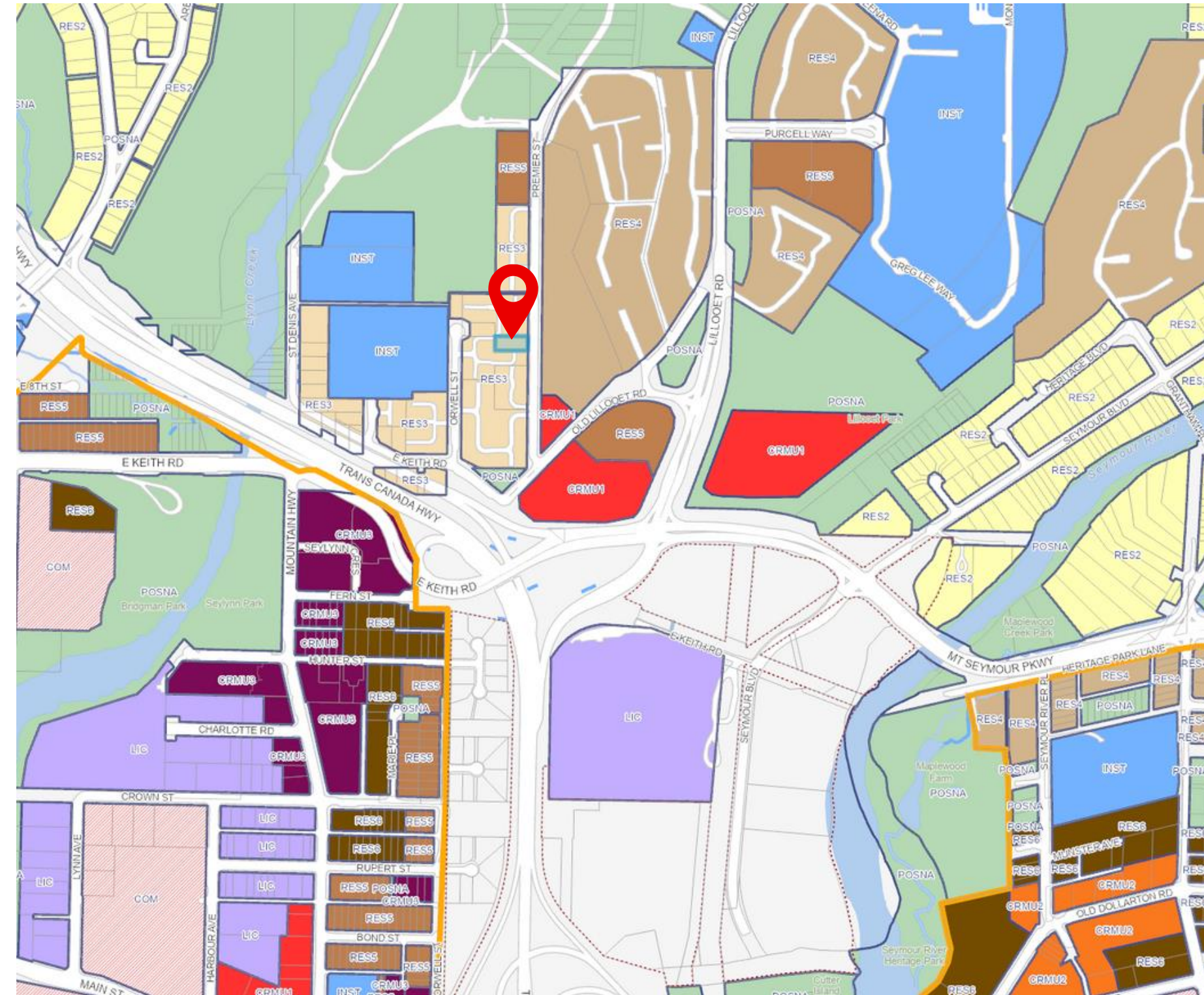


Site size : 11,000.3 sq.ft.

Permitted square footage: 8,800.2 sq.ft.

Proposed square footage: 8793.9 sq.ft.

Proposed FSR: 0.8



Location

Centrally Located: Convenient access to key local destinations.

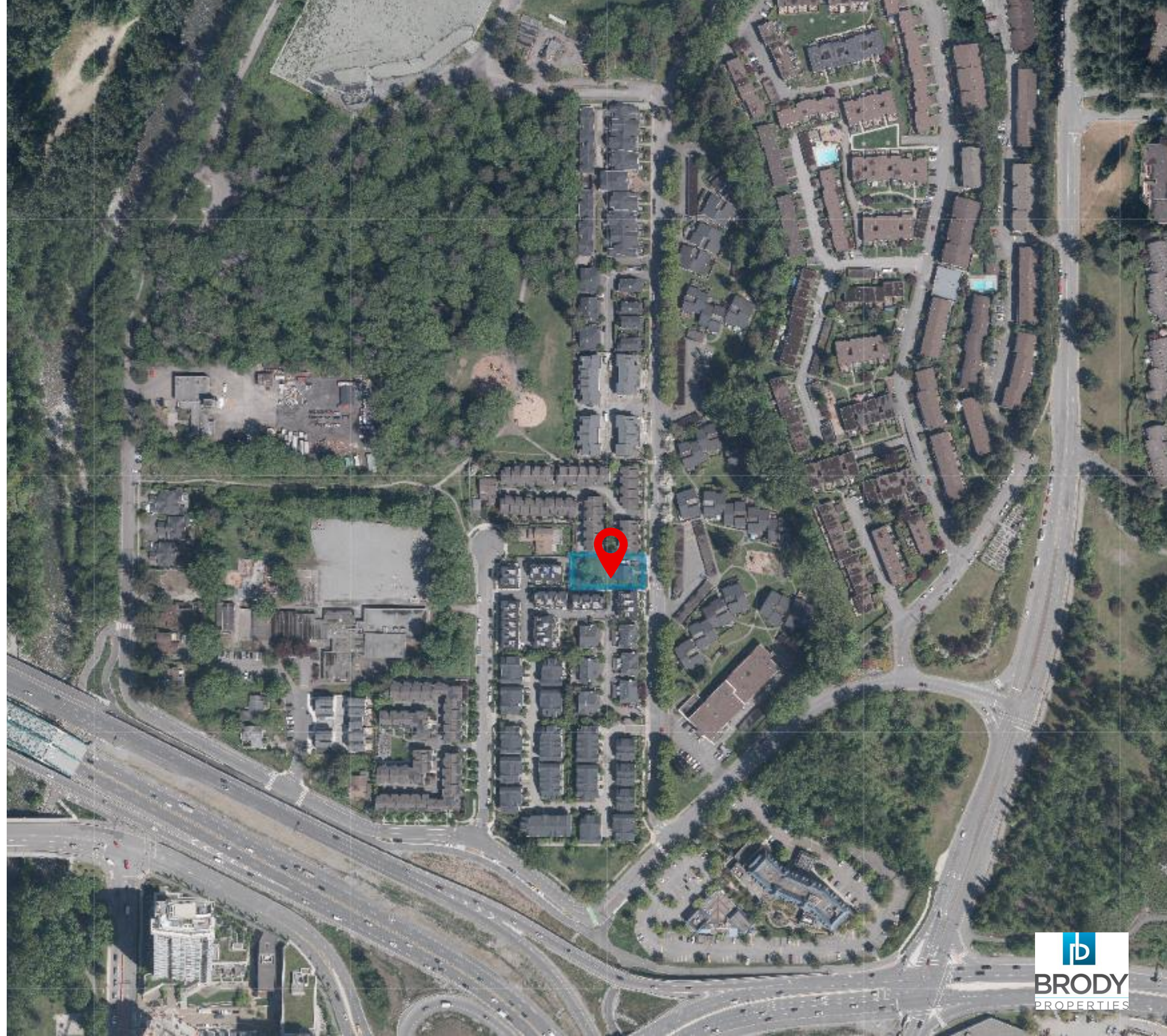
Nearby Educational Facilities: Lynnmour Elementary and Capilano University.

Parks & Recreation:
Walking distance to Seymour River & Digger Park (East) and South of Interriver Park.

Transportation:
Easy access to Highway 1.

Bus stop on Lillooet Road.

Best of all, the site is walking distance to the Lynn Creek Town Centre and is connected to the newly designed bike network.



Site Context



Currently improved with a single family residence.

Surrounded by Multifamily Developments in the form of ground orientated townhomes:

North: Legacy - 29 Townhomes

East: Edgewater Estates -Low-rise apartments & townhomes

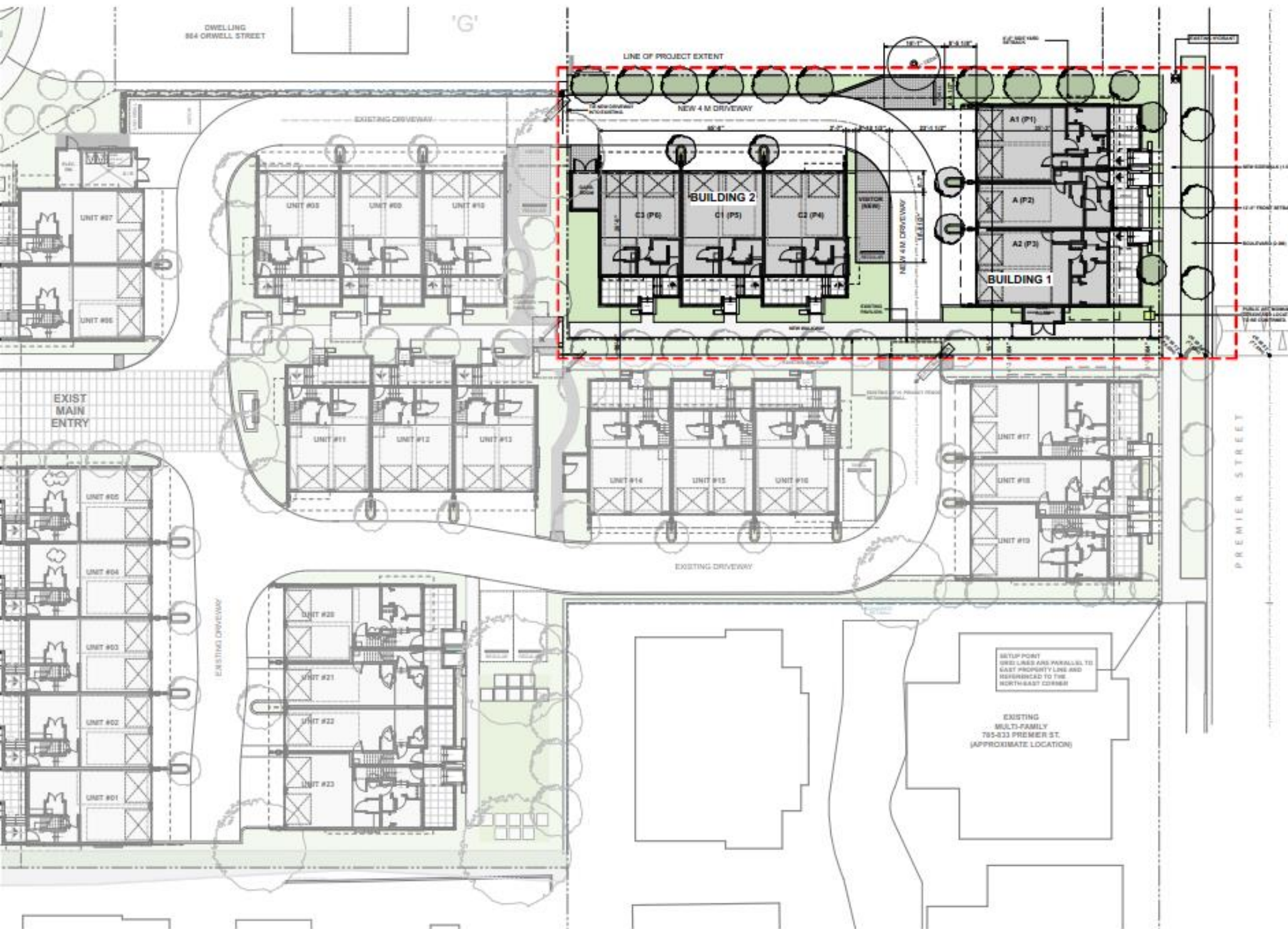
South/East: Continuum (23 Townhomes)

Vehicle Access: via 857 Orwell Street.

Pedestrian Access: from both the East and west, via Premier and Orwell Streets, respectfully.

The public right of away for East/West access will remain.

Siteplan



Integration with Continuum Development:
Two new buildings designed to mirror Buildings 5 and 6 of Continuum.

Separate pathway from Premier Street.
Pathway lined with native bushes, shrubs, and trees.

36% site coverage providing ample green space for planting, trees

Public art piece will mark the pathway entrance.
Signage will indicate private residence pathway.

Design

Step Code 4 with low energy emissions

Unit Mix: ranging from 1346sqft to 1731 sqft.

1 two bedroom unit

4 three bedroom homes

1 four bedroom home

13 onsite parking stalls, two per home and one onsite visitor parking.

Contemporary architecture with west coast elements featuring grey fibre cement siding, and aluminum panels complimented by maple coloured accents, black windows and stone cladding. optimizing views and ensuring privacy were key design considerations.



Landscape



"Enhancing Our Vision: Responding to Community Input"

Preserving Greenery & Trees

Retained large red cedar tree with minimal root disruption

Added native landscaping to support biodiversity

Maintained privacy and added landscaping for existing residents

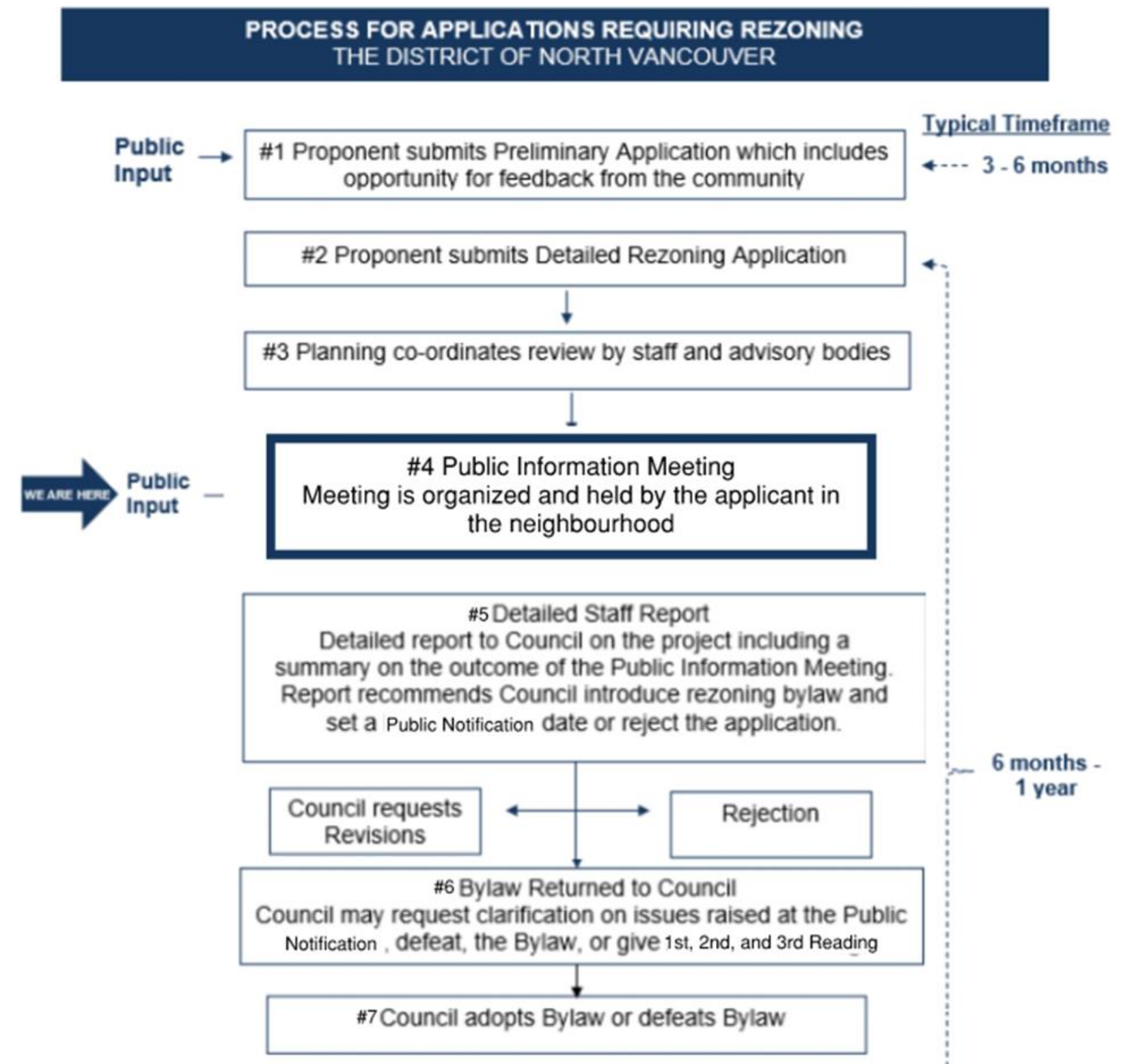
Traffic, Access and Safety Priority

Closed circular driveway to calm traffic

Utilized access agreement to reduce drive aisles and sidewalk crossings on Premier Street

Construction Timeline

12-month build timeline



Thank you

We appreciate you taking the time to participate in the Public Information meeting for
873 Premier Street.

Please feel free to send any further questions or comments to us.

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